



CITY OF LAKE WORTH
1900 2nd Ave N · Lake Worth, Florida 33461 · Phone: 561-586-1687

Agenda
Regular Meeting
City of Lake Worth
Historic Resources Preservation Board
City Hall Commission Room
7 North Dixie Hwy; Lake Worth, FL

WEDNESDAY, MARCH 09, 2016 6:00 PM

1. Roll Call and Recording of Absences
- 2. Pledge of Allegiance**
3. Additions/Deletions/Reordering and Approval of the Agenda
4. Approval of Minutes
 - A. October 2015 Meeting Minutes
 - B. November 2015 Meeting Minutes
 - C. December 2015 Meeting Minutes
 - D. December 2015 Joint Workshop Minutes
 - E. January 2016 Meeting Minutes
5. Cases
 - A. Swearing in of Staff and Applicants
 - B. Proof of Publication
 1. Lake Worth Herald
 2. Palm Beach Post
 - C. Withdrawals/Postponements
 - D. Consent
 - E. Public Hearings

1. Board Disclosure

- a. Form 8B

F. Unfinished Business

1. HRPB Project # 15-00100217 Certificate of Appropriateness (COA) for Exterior Alterations to the historic Gulfstream Hotel.
2. HRPB Project # 15-00100216 Certificate of Appropriateness (COA) for an Addition to the existing historic Gulfstream Hotel, including a Historic Waiver.
3. HRPB Project# 15-00100215 Certificate of Appropriateness (COA), for New Construction of a new hotel structure and parking garage, including a Historic Waiver.
4. HRPB Project # 15-00100214 Certificate of Appropriateness (COA) to allow the demolition of two buildings located at 14 S Lakeside Drive
5. HRPB Project # 15-00100231 Certificate of Appropriateness (COA) for roof replacement to the subject property located at 520 North Palmway PCN#38-43-44-21-15-164-0050. The subject building was constructed in 1939 and the property is a contributing resource within the Old Lucerne Local Historic District.

G. New Business

1. HRPB Project Number 16-00100034: Consideration of a Certificate of Appropriateness (COA) for exterior alterations for the single-family residence located at 22 South M Street; PCN# 38-43-44-21-15-025-0030. The subject property was constructed c.1925 and is a contributing resource within the Old Town Local Historic District.

6. Planning Issues

7. Public Comments (3 minute limit)

8. Departmental Reports

9. Board Member Comments

10. Adjournment

11. If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)

NOTE: ALL CITY BOARDS ARE AUTHORIZED TO CONVERT ANY PUBLICLY NOTICED MEETING INTO A WORKSHOP SESSION WHEN A QUORUM IS NOT

March 9, 2016 Regular Meeting

REACHED. THE DECISION TO CONVERT THE MEETING INTO A WORKSHOP SESSION SHALL BE DETERMINED BY THE CHAIR OR THE CHAIR'S DESIGNEE, WHO IS PRESENT AT THE MEETING. NO OFFICIAL ACTION SHALL BE TAKEN AT THE WORKSHOP SESSION, AND THE MEMBERS PRESENT SHOULD LIMIT THEIR DISCUSSION TO THE ITEMS ON THE AGENDA FOR THE PUBLICLY NOTICED MEETING. (Sec. 2-12 Lake Worth Code of Ordinances)

Note: One or more members of any Board, Authority or Commission may attend and speak at any meeting of another City Board, Authority or Commission.

All project-related back-up materials, including full plan sets, are available for review by the public in the Planning, Zoning and Historic Preservation Division located at 1900 2nd Avenue North.



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Agenda
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WEDNESDAY, OCTOBER 14, 2015 6:00 PM

1. Roll Call and Recording of Absences: Herman Robinson, Chair, called the meeting to order at 6:00 PM. Curt Thompson, Community Planner, called the roll.
Present in addition to the Chair were: Darrin Engel; Tom Norris; and Loretta Sharpe.
Also present were: Carolyn Ansay, Assistant City Attorney; Maxime Ducoste, Planning & Preservation Manager; Aimee Sunny, Preservation Planning Coordinator; and Curt Thompson, Community Planner.

2. Pledge of Allegiance

3. Additions/Deletions/Reordering and Approval of the Agenda

Action: Motion to approve the Agenda made by Mr. Engel with a second by Mr. Norris
Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Norris; and Ms. Sharpe.
Unanimous Motion carried four (4) to zero (0).

4. Approval of Minutes

A. September 9 2015 RM

Action: Motion to approve the September 9, 2015, Minutes made by Mr. Norris
Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Norris; and Ms. Sharpe.
Unanimous Motion carried four (4) to zero (0).

5. Cases

A. Swearing in of Staff and Applicants

- Mr. Thompson administered the swearing in.

B. Proof of Publication

1. Legal Ad
 - a) 302 North Lakeside Drive

C. Withdrawals/Postponements

- None.

D. Consent

E. Public Hearings

1. Board Disclosure

- None.

2. HRPB Project Number 15-00100154: Consideration of a Certificate of Appropriateness (COA) for construction of a new single-family residence at the subject property located at 302 North Lakeside Dr.; PCN# 38-43-44-21-15-430-0010. The subject property is a vacant lot located within the Old Lucerne Local Historic District.

- Staff Comments: Aimee Sunny (06:05 PM)

Request is to construct a new single-family residence on a vacant lot, at the corner of North Lakeside Drive and 3rd Avenue North, in the Single Family Residential Zoning District. Applicant has submitted site plans, floor plans, elevations, and a landscape plan to construct a 1-story contemporary cottage house. The proposed building complies with all applicable zoning regulations, and would not require any variances. Ms. Sunny expressed a few concerns with the relationships of solids to voids, and long expanses of blank façades, as seen on the North elevation and portions of the South elevation. Additional concerns regarding the window pattern and inconsistencies in the elevations and window/door schedule. Staff recommends continuance of the project in order to allow the applicant time to address Staff concerns. Staff also provided recommended conditions of approval if the Board chooses to approve the project.

- Board Member Comments:

Loretta Sharpe indicated that she does not agree with reviewing the architectural quality of proposed new construction. Mr. Engel stated that it is the purview of the Board to review all new construction in the historic district, in order to protect the integrity of the surrounding district. Staff responded that it is the purview of the Board to review all new construction for compatibility with the historic district. Ms. Sharpe questioned the recommended conditions of approval regarding Staff review at permitting. Staff responded that these conditions help to expedite the permitting process, and allow for details to be reviewed by Staff, rather than requiring the project to go back before the HRPB. Mr. Engel questioned the parking space located in the front setback, and the front yard permeability requirement, as well as the lack of a proposed sidewalk. Plans do not show a sidewalk, Aimee adds that is correct, a sidewalk shall be installed by the applicant.

- Public Comment:

Ms. Sunny read a letter into the record that was received from Judith Just, absent Board member.

Applicant Presentation: Kelly Yates, Architect (06:25 PM)

Mr. Yates stated that he does acknowledge that the north elevation does have blank area, but that Mr. Jolicoeur (the owner) prefers privacy on the north and south elevations. Additionally, he does not believe that the elevation is visible from the street, and does not negatively impact the compatibility with the district. Mr. Engel responded that he generally feels that the proposed house is compatible with the district. Mr. Pierre Jolicoeur, owner, stated that he worked very hard to ensure that the front and rear elevations are compatible with the neighborhood. He also stated that he wants to have privacy from the neighbors, in order to enjoy use of the patio and back yard.

- Board discussion:

Mr. Robinson feels that it is important to respect the Owner's wishes for his property, and potentially adding landscaping to fill in the blank elevations. Mr. Norris suggested adding mouldings or panels under the windows in order to make the openings larger. Mr. Engel does not prefer fake recesses, and does not prefer the north elevation, but overall he feels that the house is a good addition to the neighborhood. The Board discussed landscaping of varying heights and conditions with the applicant.

Action: Motion made by Ms. Sharpe, with a second by Mr. Norris, to approve the request for new construction, with the conditions recommended by Staff, except condition #2, and with the additional conditions that landscaping of varied height shall be added on the north elevation, to exceed the code requirement, the sidewalk along North Lakeside Drive shall be added as required by the Code, and that the parking space parallel to North Lakeside Drive shall be removed.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Norris; and Ms. Sharpe.

Unanimous Motion carried four (4) to zero (0). (06:55 PM)

F. Unfinished Business

1. HRPB Project Number 15-00100067: Consideration of a Certificate of Appropriateness (COA) for exterior alterations and a historic preservation ad valorem tax exemption for the subject property located at 801 Lake Avenue (7 South J Street); PCN# 38-43-44-21-15-017-0212. The subject building was constructed c.1920 and the property is a contributing resource within the Old Town Local Historic District.

- Staff Comments: Aimee Sunny

Staff presented the case, and mentioned that the case has been heard at several HRPB meetings. Staff discussed the character defining features, the changes to the building over time, and the request from the applicant. Previous COA's for exterior alterations were granted in 2011 and 2013, which have both expired. Staff presented historic photos of the building, and discussed the similarities and differences in the historic photos and the building today. Revised drawings submitted request to repair the existing wood windows and bay windows, replace the storefront systems, and repair the building as necessary. Staff also presented the requirements and steps necessary for the requested ad valorem tax exemption. In general, Staff recommends the Board discuss the alterations to the storefronts, and has recommended conditions of approval for the case in general, and the ad valorem tax exemption.

Board Member Comments:

Ms. Sharpe questioned the proposed use of the building once the renovations are completed. Staff indicated that the first floor is proposed to be a commercial space, but the second floor is to be left vacant at this time. Mr. Norris mentioned that he feels setting back the storefront, similar to the historic photos of the meat market, would be appropriate for the structure. Mr. Engel discussed the proposed alterations and design of the storefronts, and that he feels the existing storefronts are part of the evolution of the building over time.

- Applicant's Agent Comments: Robert D'Arinzo

Presented that he looked extensively for the historic photos of the structure. The Agent indicated he agrees with the Conditions recommended by Staff, and that they will work with Staff moving forward.

Action: Motion to approve the COA request for exterior alterations, with the Conditions of Approval, as recommended by Staff, including the ability to inset the Lake Avenue storefront entry if desired or required by DOT, made by Mr. Engel, with a second by Mr. Norris.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Norris; and Ms. Sharpe.

Unanimous Motion carried four (4) to zero (0).

Action: Motion to approve the Pre-Construction application request for a Historic Preservation Ad Valorem Tax Exemption, with the Conditions of Approval, as recommended by Staff, including the ability to inset the Lake Avenue storefront entry if desired or required, and subject to the required Findings of Fact as outlined in the Staff report, made by Mr. Engel, with a second by Mr. Norris.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Norris; and Ms. Sharpe.

Unanimous Motion carried four (4) to zero (0). (07:30 PM)

G. New Business

1. HRPB Project Number 15-00100152: Consideration of a Certificate of Appropriateness (COA) for roof replacement to the subject property located at 1311 South Palmway, PCN# 38-43-44-27-01-067-0101. The subject building was constructed in 1945 and the property is a contributing structure within the South Palm Park Local Historic District.

- Staff Comments: Aimee Sunny

Staff presented the case, indicated that the structure was constructed in a Mid-Century Modern and Art Moderne Influence style. Staff described the changes that occurred to the building over time, and the request for roof replacement. Staff stated that the Neo-Mediterranean concrete s-tile roof proposed is not appropriate given the style of the property, and does not meet the Standards for review as outlined in the Historic Preservation Ordinance. Staff suggested re-roofing with asphalt shingle or flat white concrete tile, in keeping with the character of the house. Staff is recommending denial of the project as proposed, and approval of roof replacement with an alternate, compatible material.

- Applicant Comments: Geoffrey Mintz

Presented that the roof area in question is not visible from the street, and that he feels the aesthetic appearance of the tile roof is better than the asphalt shingle. Mr. Mintz

stated that there is a diverse array of roofing materials on the building currently, and that adding the tile blends in with the diverse materials. He does not prefer the flat white tile, as it had a tendency to discolor and grow mold. Stated that the roofing contractor would employ an engineer to assess the structural stability of the roof.

- Board Comments:

Discussion over the structural stability of the building to support the additional weight of the concrete tiles, as opposed to the asphalt shingles. Mr. Engel indicated that the style of roof proposed, the concrete s-tile, does not match the style of the house, and Mr. Robinson concurred. Ms. Sharpe indicated that she does not think the house can structurally support the weight of the tile. Mr. Robinson, Mr. Norris, and Mr. Engel all stated that they think this is a unique, contributing property.

Action: Motion made by Mr. Engel, with a second by Mr. Norris, to deny the COA request for concrete s-tile roof replacement for 1311 South Palmway as submitted by the Applicant, subject to the Conditions as recommended by Staff; and to grant approval for a roof replacement, subject to the Staff recommended conditions of approval, which allows for the roof to be replaced with 3-tab asphalt shingle, dimensional asphalt shingle, or flat white concrete tile.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Norris; and Ms. Sharpe.

Unanimous Motion carried four (4) to zero (0). (07:58 PM)

2. HRPB Project Number 15-00100168: Consideration of a Certificate of Appropriateness (COA) for window replacement for the subject property located at 720 North Federal Highway; PCN# 38-43-44-21-15-224-0050. The subject building was constructed in 1948 and the property is a contributing resource within the Northeast Lucerne Local Historic District. This case was heard before the HRPB on March 11, 2015, under case #15-00100042, and the request was denied by the Board.

- Staff Comments: Aimee Sunny

Ms. Sunny presented the case, and called attention to the previous COA request heard in March 2015. The resubmittal request is fundamentally the same as the previously denied request, with the addition of flat plastic muntins to replicate the divided light pattern of the existing original windows. Staff presented the construction history of the church and support buildings. Staff outlined the window replacement request, and the differences between the existing and proposed windows. Staff recommends denial of the application as submitted, and recommends alternate methods for repairing or replacing the windows.

- Applicant Presentation: Carlos Quintana, Pastor for the Church; Michael McDonald, General Contractor; Elias Contreras, Window Salesman and Client Representative

The applicants were sworn in at 08:10PM. Mr. McDonald presented that they feel the proposed windows are very close to replicating the existing windows; and that the new Florida Building Code changes are pushing vinyl windows as the most energy efficient option for replacement windows. Ms. Sunny noted that the existing historic buildings in a historic district are exempt from the new energy code. Mr. Contreras stated that they had met with the Mayor regarding this case, and that

these windows were old and deteriorated and needed to be replaced. Mr. Contreras stated that he felt he did not receive adequate notice of the meeting, or communication regarding the reasons for denial and the ability to appeal the previous decision.

No public comment was presented.

- **Board Discussion:**

The Board discussed the importance of the buildings, and the type of windows being proposed. Ms. Sharpe recommended that if the applicant prefers, they can chose to appeal the Board's decision to the City Commission. Mr. Engel stated that the reasons to review historic buildings include protecting the unique architecture, materials, and designs of the historic buildings and the character of the City.

Action: Motion to deny the window replacement request as submitted, made by Ms. Sharpe, with a second by Mr. Engel.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Norris; and Ms. Sharpe.

Unanimous Motion carried four (4) to zero (0). (08:25 PM)

Ms. Ansay recommended that Staff coordinate to obtain the proper addresses for the applicant in this case, in order to ensure that the proper notices can be mailed.

6. Planning Issues

- Mr. Ducoste discussed potential amendments to the LDRs, and stated the need to have a joint Workshop or present the changes to each Board separately.
- Ms. Sunny presented photos of 2012 Notre Dame, which is a 1950's ranch house located on the Intracoastal in College Park, and has requested permission to demolish the existing house.
- Ms. Sunny indicated that the Board will be reviewing a rezoning application for land adjacent to the Gulfstream Hotel at the November meeting.

7. Public Comments (3 minute limit)

- Mr. Carmelo Giglio, presented that he had an application for new construction that was reviewed by the HRPB in August 2015. Mr. Robinson stated he had discussed the case with Mr. Giglio since that meeting. Mr. Giglio presented that during the completion of the construction documents for the new construction house, additional alterations were necessary to the plans and elevations. Mr. Giglio requested that the Board review the proposed changes to see if they are acceptable. Ms. Ansay and Ms. Sunny discussed that it is a code requirement that alterations to approved Certificates of Appropriateness from the HRPB require the Applicant to complete the HRPB review process again, including a legal ad, courtesy notice mailing, submitted drawings and a request for a revision. Mr. Giglio asserted that he does not believe the changes to be substantial. The discussion with the Board is that Mr. Giglio will go through with the process as required by the Land Development Regulations, and will submit for a building permit while awaiting approval by the HRPB. This permit will be applied for at the Applicant's own risk, pending approval by the HRPB. (08:50 PM)
- Ms. Erin Fitzhugh Sita presented that she is looking forward to joining the HRPB at the November meeting, and that she is currently a Planner with Palm beach County.

8. Departmental Reports

- No reports.

9. Board Member Comments

- Mr. Engel stated that the planning and zoning review process is lengthy in all municipalities. Additionally, the length of review is related to the quality and completeness of application.
- Mr. Norris indicated that he also wondered if the review process could be adjusted.
- Board members discussed with Ms. Ansay the revision approval process, and how best to proceed with issues of revisions to Certificates of Appropriateness.
- Ms. Sharpe stated that she does not agree with changing architect's plans on new buildings, as they are not the historic resources.
- Mr. Robinson stated that he attended the West Palm Beach Historic Board's window workshop; that the Lake Worth Staff also attended and presented at the meeting, and that protecting the integrity of the historic resources is important.

10. Adjournment

- Meeting adjourned at 09:15PM.

Attest:

Herman Robinson, Chairman

Submitted by:

Aimee Sunny, Preservation Planning Coordinator

Minutes Approved:

Date



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Minutes
Regular Meeting
City of Lake Worth
Historic Resources Preservation Board
City Hall Commission Room
7 North Dixie Hwy; Lake Worth, FL

WEDNESDAY, NOVEMBER 18, 2015 6:00 PM

1. Roll Call and Recording of Absences: Herman Robinson, Chair, called the meeting to order at 6:02 PM. Beth Jones Administrative Support Supervisor, called the roll.

Present were: Mr. Robinson; Jimmy Zoellner; Tom Norris; Judith Just; Darrin Engel; Loretta Sharpe; and Erin Fitzhugh Sita. Also present were: Carolyn Ansay, Assistant City Attorney; William Waters, Director for the Department of Community Sustainability; Maxime Ducoste, Planning & Preservation Manager; Aimee Sunny, Preservation Planning Coordinator; Curt Thompson, Community Planner and Ms. Jones.

2. Pledge of Allegiance

3. Additions/Deletions/Reordering and Approval of the Agenda

- **Action:** Motion to approve the Agenda made by Ms. Just seconded by Mr. Norris
Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Zoellner; Mr. Norris; Ms. Just; Ms. Sharpe and Ms. Fitzhugh Sita

Unanimous Motion carried seven (7) to zero (0).

4. Approval of Minutes

A. The October 14, 2015, meeting minutes will be presented at the December 9, 2015, Historic Resources Preservation Board meeting.

5. Cases

A. Swearing in of Staff and Applicants

- Ms. Jones administered the swearing in.

B. Proof of Publication

1. Legal Ads

Action: Motion to approve the legal ads was made by Mr. Zoellner with a second by Mr. Engel.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Zoellner; Mr. Norris; Ms. Just; Ms. Sharpe and Ms. Fitzhugh Sita

Unanimous Motion carried seven (7) to zero (0).

C. Withdrawals/Postponements

D. Consent

1. HRPB Project Number 15-00100084: Consideration of a Pre-Construction Approval for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at 805 Lake Avenue; PCN# 38-43-44-21-15-017-0191. The subject property is contributing to the Old Town Local Historic District and National Register Historic District.

Action: Motion to approve the Consent Agenda made by Ms. Just with a second by Ms. Sharpe.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Zoellner; Mr. Norris; Ms. Just; Ms. Sharpe and Ms. Fitzhugh Sita

Unanimous Motion carried seven (7) to zero (0).

2. HRPB Project Number 15-00100114: Consideration of a Pre-Construction Approval for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at 828 North Lakeside Drive PCN# 38-43-44-21-15-420-0070. The subject property is contributing to the Northeast Lucerne Local Historic District.

Action: Motion to approve the Consent Agenda made by Ms. Just with a second by Ms. Sharpe.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Zoellner; Mr. Norris; Ms. Just; Ms. Sharpe and Ms. Fitzhugh Sita

Unanimous Motion carried seven (7) to zero (0).

E. Public Hearings

1. Board Disclosure (06:09 PM)

- Mr. Engel disclosed that his employer does work for Hudson Holdings; however, he does not have any direct involvement with the project being reviewed tonight. He has not had any conversations with the public or Hudson Holdings regarding the cases. He also has had conversations with Beth Schrantz, but not regarding the cases on the Agenda.
- Mr. Robinson disclosed that he had one conversation with two employees of Hudson Holdings.
- Ms. Sharpe disclosed that she had conversations with members of the neighborhood association.
- Mr. Robinson, Mr. Engle, and Ms. Sharpe all indicated that none of their conversations would affect their decisions for the cases.

2. HRPB Project Number 15-01300001: A request by Beth Schrantz and Bonnie Miskel, Esq. of Dunay, Miskel and Backman, LLP, on behalf of HH Gulfstream Land Holdings, LLC (petitioner/applicant), to rezone +/- .93 acres of property. The subject site is located on the south side of Lake Avenue between South Lakeside Drive to the west and South Golfview Road to the east, and is located within the South Palm Park Local Historic District. The subject property consists of the following Property Control Numbers (PCNs): 38-43-44-21-15-033-0010; 38-43-44-21-15-033-0030; 38-43-44-21-15-033-0040; 38-43-44-21-15-033-0050; 38-43-44-21-15-033-0060.

- Staff Comments: Maxime Ducoste (06:10 PM)

Mr. Ducoste introduced the case, noted the subject parcels and general site location, and presented the rezoning criteria and corresponding staff responses. He discussed the differences between Downtown (DT) and Multi-Family (MF30) zoning regulations as they apply to this site. Mentioned conceptual site plan, the applicant's plans to renovate the existing Gulfstream Hotel, and build new support structures. Presented two letters of opposition. Stated that because the requests as presented and documented meets the rezoning criteria, Staff recommends that the HRPB approve the rezoning request.

- Applicant Presentation: Bonnie Miskel (06:40 PM)

Ms. Miskel presented an overview of the zoning request. She discussed general comprehensive planning and future land use planning principles as well as land use and zoning law. She presented the conceptual site plan and noted that a site plan is not needed for a rezoning, but one was being presented to help clarify the intent of the project. Stated that the specific details of the project will be reviewed by the HRPB under a Certificate of Appropriateness, Major Site Plan Review, and a Conditional Land Use. Presented photos and approximate heights of neighboring building. Addressed the rezoning criteria and requested that the HRPB approve the request based on all the documentation and justifications submitted in support of the request.

- Public Comments: (07:20 PM)

The following people were generally opposed to the rezoning for a variety of reasons which included height allowances, intensity of use, compatibility with surrounding area, and concerns over design of project: Lynn Anderson; Katie McGiveron; Gael Silverblatt; Mary Watson; Lynda Mahoney; Dan Vasone; John Kane; Jo-Ann Golden; Andrew Swain; Susan Ona; Rosann Malakates; and Richard Stowe. In addition, this group brought up concerns with the height referendum that would have applied in this area and felt the City had erred in not amending the charter based on the approval by the voters of the referendum.

The following people generally approved of the rezoning for a variety of reasons which included that the project meets the rezoning requirements, will stimulate redevelopment of the site including the rehabilitation of the historic hotel, and will revitalize the area: Christina Morrison; Connie Stahl; James Tebbe; Bernard Guthrie; Maryann Polizzi; Peggy Fisher; Janice Keough; and Katie Curtis.

- Board Member Comments:

Board members requested clarification on the rezoning process, what type of conditions can be placed on a rezoning, and whether the rezoning should take into account the proposed plans for the project. Carolyn Ansay provided clarifications, answers and legal

basis for the rezoning. Board members expressed concerns over height allowance, compatibility of design, and intensity of use. The Board indicated that they support the rezoning as it generally meets the review criteria, and that they would review the specifics of the project in the future under the Certificate of Appropriateness, Major Site Plan Review, and Conditional Land Use.

Action: Motion for case #15-01300001 was to recommend to the City Commission, approval of the rezoning request, with the Unity of Title condition as recommended by Staff, and with the direction that the HRPB is concerned about the height, mass, bulk, design, and visual compatibility of any development on the southernmost parcel, located at the northeast corner of South Lakeside Drive and 1st Avenue South, and the HRPB recommends that the City Commission add a condition of approval related to this concern.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Zoellner; Mr. Norris; Ms. Just; Ms. Sharpe and Ms. Fitzhugh Sita
Unanimous Motion carried seven (7) to zero (0).

F. Unfinished Business

1. HRPB Project Number 15-00100123: Consideration of a REVISION to a Certificate of Appropriateness (COA) for construction of a new single-family residence at the subject property located at 245 Princeton Drive; PCN# 38-43-44-15-06-011-4370. The subject property is located within the College Park Local Historic District.

- Staff Comments: Aimee Sunny

Stated that the Certificate of Appropriateness for new construction of single family residence was approved by the HRPB at the August 12, 2015 regular meeting. The applicant has submitted plans for revisions to the previously approved COA, including a site plan, floor plans, elevation and a landscape plan. Ms. Sunny presented the case and clarified the extent of the proposed revisions and expressed concerns relating to the windows, front porch railing, siding material, and second floor dormer and recommended conditions to address these concerns.

- Applicant Comments: Carmelo Giglio (08:30 PM)

Mr. Giglio stated that he feels strongly about revisions proposed; stated that the lowering of the front porch railing was necessary to enjoy sitting on the front porch; stated that the windows on the east side of the property created a conflict with the floor plan; stated that he does not agree with the Staff recommendations and requested approval of the revisions as submitted.

Board Member Comments:

General questions regarding the setbacks of the proposed new construction residence and the neighboring property, the second floor ceiling heights, the applicant's preference regarding the railing height, and the additional windows or blank windows on the side elevation.

Action: Motion to approve the revisions made by Mr. Engle, with the Conditions recommended by Staff, except for Conditions 2 and 4; with a second by Ms. Sharpe.

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Zoellner; Mr. Norris; Ms. Just; Ms. Sharpe and Ms. Fitzhugh Sita

Unanimous Motion carried seven (7) to zero (0). (08:40 PM)

Ms. Sharpe left the dais at 08:45 PM.

G. New Business

1. HRPB Project Number 15-00100181: Consideration of a Certificate of Appropriateness (COA) for window replacement for the single-family residence located at 1232 South Palmway; PCN# 38-43-44-27-01-059-0010. The subject property was constructed in 1974 and is a non-contributing resource within the South Palm Park Local Historic District.

- Staff Comments: Aimee Sunny

Stated that the project as proposed is not consistent with the Comprehensive Plan, the Secretary of the Interior's Standards for Historic Preservation, and the City of Lake Worth's Historic Preservation Ordinance. The Applicant has submitted an application for replacement of all the original windows to PGT impact white aluminum insulated horizontal roller windows. Most windows are proposed to be replaced in the existing openings; however, the divided light configuration and appearance of the windows is proposed to change; one window is proposed to be replaced with a sliding glass door. The type, finish and configuration of the proposed windows are not consistent with the original windows for this structure.

Staff recommends that the Board deny the application as submitted.

- Applicant Comments: Michael Allison

Stated that he chose this non-contributing property that he did not believe would have to go through the Historic process. Applicant chose the sliding windows for security, as you can install interior locks on the windows. He believes the casement windows are not as secure as the sliders. He wants to make the house beautiful and secure. Noted that he also plans on landscaping the property, adding fencing, pavers, and a pergola.

- Board member comments:

General comments and consensus of the board is that this is a non-contributing property built in 1974 and has very little historical or architectural significance. Therefore the board felt the changes would not damage the structure and were appropriate.

Action: Motion to approve application made by Mr. Engle with a second by Mr. Zoellner

Vote: Ayes: Mr. Robinson; Mr. Engel; Mr. Zoellner; Ms. Just; and Ms. Fitzhugh Sita

Nays: One; Mr. Norris

Motion carried five (5) to one (1). (08:55 PM)

6. Planning Issues

- Mr. Ducoste mentioned that the City is interested in having a LDR amendment workshop on December 16, 2015, and inquired about the Board's availability.
- Ms. Sunny discussed window replacement options and presented examples of different types of historic and replacement windows.

7. Public Comments (3 minute limit)

- No public comment.

8. Departmental Reports

- No Departmental Reports.

9. Board Member Comments (09:10 PM)

- Ms. Fitzhugh Sita did not have any comment.
- Mr. Engel welcomed Ms. Fitzhugh Sita, requested clarification regarding the condition and size of the Board packet, mentioned the Gulfstream hotel and surrounding properties.
- Ms. Just welcomed Ms. Fitzhugh Sita, and thanked her for her comments and creative ideas throughout the meeting.
- Mr. Robinson welcomed Ms. Fitzhugh Sita as well.
- Mr. Norris mentioned the new townhouses behind the Post Office, and that he finds the design and configuration to be a bit jarring, and wonders about whether or not they are appropriate given the proximity to the Historic District and the Post Office.
- Mr. Zoellner welcomed Mr. Fitzhugh Sita to the Board and thanked Ms. Ansay for all of her input and guidance throughout the meeting.

10. Adjournment

- The meeting adjourned at 9:20 PM.

Attest:

Herman Robinson, Chair

Submitted by:

Aimee Sunny, Preservation Planning Coordinator

Minutes Approved:

Date



CITY OF LAKE WORTH
1900 2nd Ave N · Lake Worth, Florida 33461 · Phone: 561-586-1687

Agenda
Regular Meeting
City of Lake Worth
Historic Resources Preservation Board
City Hall Commission Room
7 North Dixie Hwy; Lake Worth, FL

WEDNESDAY, DECEMBER 09, 2015 6:00 PM

1. Roll Call and Recording of Absences
The meeting was called to order at 6:00 pm
Present were: Tom Norris, Jimmy Zoellner, Judith Just, Darrin Engel, Herman Robinson
Via Phone: Loretta Sharpe
Also present: Aimee Sunny, Preservation Planning Coordinator; Curt Thompson Community Planner; Maxime Ducoste Planning & Preservation Manager
Late Arrival: 6:02 PM Erin Fitzhugh Sita
2. **Pledge of Allegiance**
Chairman Robinson led the Pledge.
3. Additions/Deletions/Reordering and Approval of the Agenda
A. Sunny requested to reorder the agenda as follows:
Item 6.A. to be heard prior to Item 5. G. 3.
J. Zoellner motions to approve the reordering of the agenda and 2nd T. Norris
Ayes: Unanimous
4. Approval of Minutes

A. October 14, 2015 J. Zoellner motions to approve the October meeting minutes D. Engel 2nd
The motion
Ayes: all unanimous.

B. November 2015 J. Juste motions to approve the November meeting minutes D. Engel 2nd
the motion.
Ayes: all unanimous.
5. Cases

A. Swearing in of Staff and Applicants
C. Thompson swears in the staff and applicants wishing to speak to the Public Hearing items.

B. Proof of Publication
No projects requiring legal noticing.

C. Withdrawals/Postponements

None

D. Consent

None

E. Public Hearings

1. Board Disclosure

J. Juste mentions she has spoken to property owner garage door for HRPB Project Number 15-00100190

H. Robinson mentions he has spoken to applicants Gleason and Love.

Both Board members believe they can discharge their duties without prejudice.

F. Unfinished Business

None

G. New Business

1. HRPB Project Number 15-00100201: Consideration of a Certificate of Appropriateness (COA) for window replacement for the multi-family residence located at 131 South Federal Highway; PCN# 38-43-44-21-15-043-0150. The subject property was constructed in 1948 and is a contributing resource within the Southeast Lucerne Local Historic District.

Staff presentation by A. Sunny indicating the proposal is not in agreement with Secretary of Interior standards.

Board has questions regarding style of window. A Sunny indicates they are proposing to utilize horizontal roller windows (impact windows), on 2 windows, casement windows are recommended, configuration is the same. They are not proposing divided lights. The applicant revised the application from the original request of vinyl to aluminum framing. Owner not present, applicant is Home Depot also not present for the meeting. Staff recommends denial.

Board comment: questions regarding casement windows vs awning windows. Single hung window would have a dark screen on the lower half of the window changing the look. E. Fitzhugh Sita asks about whether there is anything in code about screens for rental property.

Motion: E. Fitzhugh Sita motions to deny the request. J. Juste 2nd

Public Comment: None

Vote: Ayes unanimous

2. HRPB Project Number 15-00100139: Consideration of a retroactive Certificate of Appropriateness (COA) for a wood pergola addition on the front elevation of the single-family residence located at 914 South Palmway; PCN# 38-43-44-27-01-032-0050. The subject property was constructed in 1968 and is a non-contributing resource within the South Palm Park Local Historic District.

Staff Presentation by A. Sunny speaks to unpermitted additions and removal of certain features. Staff recommends. Standard #9 & #10

Owner comments: Kathleen Holmes, this is a relative's residence. Has eliminated yard and grass in favor of gardens. Was cited by code enforcement after pergola was erected.

Board Comment:

Public Comment: None

Motion: D. Engel to approve 914 S Palmway; J. Juste 2nd

Ayes: unanimous

- Item 6.A. is heard/presented as this time.
A. Sunny reviews the decision criteria, Certificate of Appropriateness Review process and Appeal process. Defines the Board responsibilities/capabilities/ capacity, for reversing staff decision.

C. Ansay, Board Attorney advises Board, no new testimony is allowed; this is an Appeal process. Review the decision of staff to ensure there is no arbitrary and capricious action; the decision was based upon factual evidence. After the decision is made the record is closed. As there is no new factual information presented (in the appeal process), no one needs to be sworn in. The client will be allowed to speak, but no new information can be introduced.

Board members request a paper copy of the project file as opposed to the PDF file in the event of an appeal.

C. Ansay clarifies that it is the first time the Board is apprised of the facts due to previously being an administrative decision. New Board members are in the same position as Board members previously seated.

3. HRPB Project Number 15-00100190: Consideration of an Appeal of an Administrative Denial of a retroactive Certificate of Appropriateness (COA) for garage door replacement for the single-family residence located at 302 North Palmway; PCN# 38-43-44-21-15-100-0010. The subject property was constructed c.1947 and is a contributing resource within the Old Lucerne Local Historic District.

Applicant: Suriwan Miller, installer representative, before & after picture. Cost and availability is presented, replaced door in advance of hurricane without permit. Staff provided contact information for a manufacturer, but the cost was triple of the installed door. Board attorney C. Ansay addresses the Board again to determine only if the decision was arbitrary and capricious.

Motion: E Fitzhugh Sita to uphold staff decision. Owner of company speaks to the availability of different styles. 2nd by D. Engel.

Ayes: unanimous

Mr. Gleason: Suggested type was not readily available. Other door is flush panel does not want this type. Believes he has been singled out, as there are other doors in the neighborhood same style, age, color house as (59 doors the same), believes this decision is arbitrary. Seeking a compromise.

Chairman advises applicant he can take the case to the City Commission should he choose to do so.

Marian Cone (Preservationist): In order for the statement of 59 doors being replaced that are the same as the subject door, one would need to know the age of houses to make such a blanket statement.

C. Ansay, Board attorney, advises that staff can have further conversation/ direction to the applicant after the appeal. Board does not have the prerogative to direct staff to further discussion. Staff may ascertain the tenor of the conversation.

J. Juste indicates the issue was the door was installed prior to any decision being rendered either by staff or Board.

4. HRPB Project Number 15-00100176: Consideration of an Appeal of an Administrative Denial of a Certificate of Appropriateness (COA) for window replacement from original aluminum awning windows to aluminum horizontal roller windows for the single-family residence located at 302 Cornell Drive; PCN# 38-43-44-15-06-002-1170. The subject property was constructed in 1965 and is a non-contributing resource within the College Park Local Historic District.
Staff recommendation to replace / repair original as opposed to replace.
Applicant: Debra Love. Pre-closing inspection recommended replacement.

D. Engel does not believe there was any arbitrary, capricious decision. The appeal is based upon current code and current staff decision, whose decisions have been very consistent. The code and staff decisions from previous years (as the comparisons to the numerous houses in the neighborhood) cannot be used as a component of this appeal.

Applicant indicted contractor advised her that “muntions” could be applied to imitate the look of jalousie windows and that she is willing.

T. Norris echoes the sentiment that we cannot say the decision was capricious because there are other homes with the type of window. This board is not accountable for past, previous board and staff decisions.

Rick Zamen, contractor, speaks to the timeline for the process and his general dissatisfaction.

General Board consensus is to revisit the matrix; what comes before the board as far as non-contributing resources. Additionally, that staff and applicant may continue to pursue other avenues of resolution amenable to both parties.

Marion Cone, certified national historic preservationist: Suggests that despite currently being a non-contributing structure, at some point in the future it may become contributing, this is why it is important to hold the non-contributing properties to the same standard as the contributing properties. The College Park district is on both the local and national registry.

C. Ansay advises the Board has the ability to change the matrix. Also to make a motion to allow or deny.

D. Engel asks for definition of “landmark”; to which A. Sunny reads definition. E. Fitzhugh Sita believes that staff typically provides an alternative to the applicant. Windows 3, 4,5,6,7 face the street.

Motion: D. Engel motions to reverse the decision E. Fitzhugh Sita 2nd. Addition of Conditions include horizontal muntions as staff desires except the bathroom window on east elevation, window #6.

C. Ansay advises Board of how to make a reversal motion. Conditions can be added if the decision is reversed. A. Sunny explains the configurations of muntions.

J Zoellner and T. Norris not accepting of homeowner buying windows prior to gaining approval through the process.

Ayes: D. Engel, E. Fitzhugh Sita, J. Juste,

Nays: 2 T. Norris, J. Zoellner

Show of hands. 4/2

Board members remind homeowners not to move forward with purchases and installations until after permits and approvals are granted. Contractors should not move forward without permits.

5. HRPB Project Number 15-00100200: Consideration of an Appeal of an Administrative Denial of a Certificate of Appropriateness (COA) for roof replacement from 3-tab asphalt shingle to 5-v crimp metal for the single-family residence located at 410 South L Street; PCN# 38-43-44-21-15-157-0120. The subject property was constructed in 1951 and is a non-contributing resource within the Southeast Lucerne Local Historic District.

Board comments: D. Engel strongly disagrees that 5 -V crimp should not be allowed and does not know where in our code it is disallowed. It is a common roof although not the longest lasting. The original drawing very lightly reflects vertical lines.

E. Fitzhugh Sita does not feel we have to capture non-contributing property (materials) at the time it was built but rather of the time period; that materials of the period (although not specific to any particular property) should be acceptable.

Marian Cone: indicates there were no metal roofs in Lake Worth when surveyed. May have been popular in other areas but not here in the area.

Motion: D. Engel reverses decision. 2nd J Juste.

Ayes: All unanimous

Item #8 was heard at this time.

6. Planning Issues

- A. Staff Report on Certificate of Appropriateness Review Process, Decision Criteria, and Appeal of Administrative Decisions.

Board Member Comments: They support staff, applaud the work of staff, these reversals are not intended in any way to reflect poorly on staff.

A. Sunny mentions although the materials used are prevalent in the period, they need to be "married" to the appropriate style house. Board mentions the different styles window coverings for hurricane protection.

Notification of Potential Demolition of 427 South J Street - Rear Building

Board recommends staff instigate further code action/ investigation prior to demolition.

H. Robinson indicates the property is insecure at this time. The structure is structurally unsafe. Discussion regarding salvage prior to demolition.

7. Public Comments (3 minute limit): None

8. Departmental Reports

Joint Workshop the following week. M. Ducoste provided a brief overview of topics to be heard. Clarified staff position, work ethic, diligence in working with staff.

A Sunny requests further clarification on direction Board would like to take regarding materials, Windows. Staff is giving options to applicants however if they choose not to select any offered options that does not mean they have not been offered.

Discussion regarding upcoming Joint Workshop; Non-Contributing appeals.

9. Adjournment- 9:32 pm

Motion: T. Norris 2nd D. Engel

Ayes: unanimous

10. If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)

NOTE: ALL CITY BOARDS ARE AUTHORIZED TO CONVERT ANY PUBLICLY NOTICED MEETING INTO A WORKSHOP SESSION WHEN A QUORUM IS NOT REACHED. THE DECISION TO CONVERT THE MEETING INTO A WORKSHOP SESSION SHALL BE DETERMINED BY THE CHAIR OR THE CHAIR'S DESIGNEE, WHO IS PRESENT AT THE MEETING. NO OFFICIAL ACTION SHALL BE TAKEN AT THE WORKSHOP SESSION, AND THE MEMBERS PRESENT SHOULD LIMIT THEIR DISCUSSION TO THE ITEMS ON THE AGENDA FOR THE PUBLICLY NOTICED MEETING. (Sec. 2-12 Lake Worth Code of Ordinances)

Note: One or more members of any Board, Authority or Commission may attend and speak at any meeting of another City Board, Authority or Commission.

All project-related back-up materials, including full plan sets, are available for review by the public in the Planning, Zoning and Historic Preservation Division located at 1900 2nd Avenue North.

Attest:

Herman Robinson, Chairman

Submitted By:

Sherie Coale, Board Secretary

Minutes Approved:

Date



CITY OF LAKE WORTH
1900 2nd Ave N · Lake Worth, Florida 33461 · Phone: 561-586-1687

**Minutes
Workshop Meeting
City of Lake Worth
Planning & Zoning Board
Historic Resources Preservation Board
City Hall Commission Room
7 North Dixie Hwy; Lake Worth, FL**

WEDNESDAY, DECEMBER 16, 2015 6:00 PM

1. Roll Call and Recording of Absences: Greg Rice, Planning & Zoning Board (P&ZB) Chair called the meeting to order at 6:05pm. Aimee Sunny, Preservation Planning Coordinator, called the roll.

Members of the HRPB present: Herman Robinson, Chair; Darrin Engle, Vice-Chair; Judith Just; Loretta Sharpe, and Erin Fitzhugh Sita.

Members of the P&ZB present: Mr. Rice; Mark Humm; Elise LaTorre; Anthony Marotta; Dustin Zacks; and Cindee Brown.

Also present were Brian Shutt, Assistant City Attorney; William Waters, Director for Community Sustainability; Maxime Ducoste, Planning & Preservation Manager; Aimee Sunny, Preservation Planning Coordinator; and Curt Thompson, Community Planner.

Absent: Jimmy Zoellner and Tom Norris, HRPB Members
Dean Sherwin, P&ZB Member

- 2. Pledge of Allegiance**

3. Planning Issues

- A. Land Development Regulations: Proposed Amendments

- Mr. Ducoste presented that the first proposed amendment, is to clarify the allowed location of an accessory structure. The proposal will require accessory structures to be located behind the main structure, and would disallow the accessory structure between a public road and the main structure.
- Ms. Fitzhugh Sita requested a clarification as to whether or not a variance could be obtained for the accessory structure regulations, and expressed concern over historic properties that are located at the rear of the property, with no room for an accessory structure except for the front of the house.
- Mr. Waters answered that the owner could still request a variance in order to install the accessory structure in front of the main structure, and could request a historic waiver for the setbacks in a Historic District.
- Mr. Engle questioned the costs of a variance, Mr. Ducoste clarified that the cost for a residential variance is \$350.

- Mr. Ducoste clarified that the amendment, the accessory structure must maintain the same setbacks as the principal structure, and shall not be located between the primary structure and a public right of way. (06:20 PM)
- Updated the definition of foot candle and changed the unit of measure to lumens.
- Mr. Ducoste presented that the definition for pharmaceutical and medicine is proposed to be included.
- Mr. Marotta asked for clarification of the types of businesses that would need to take advantage of this new definition change, and Mr. Ducoste clarified that there is a type of business that might collect medical waste from companies. Mr. Waters added that this type of use might only be allowed in the IPOC, however it would have strict requirements from the FDA and other regulating bodies, and it would need to follow the provisions of the Permitted Use Table.
- Ms. Fitzhugh Sita questioned the potential location of the pharmaceutical and medicinal businesses, and whether or not this definition could be extended to allow medical marijuana dispensaries and similar type uses. She questions whether or not Lake Worth wants to allow this type of marijuana distribution center.
- Ms. Just commented that she would not want to see a research center allowed that would be able to use research animals in the City. Mr. Ducoste responded that he would not want to limit the laboratory use to preclude animal testing, as many laboratories do use this type of research. Mr. Waters further clarified that the Staff would collaborate with the City Attorneys to discuss further provisions that might preclude animal testing. The Board further requested the definition clarified to discuss animal and human testing facilities, blood testing facilities, and other types of resource testing.
- Mr. Engle and Mr. Waters discussed a potential blood testing or collection center on Federal Highway, and whether or not that would be allowed. (06:35 PM)
- Mr. Waters presented the proposed changes to the courtesy notice and mailing requirements; the proposed table is in excess of Florida Statute requirements; and clarifies the time period and the type of notice that is required based on the type of project.
- Ms. Fitzhugh Sita requested that Staff check on the Florida Statute requirement for Future Land Use Amendments, as she believes it to be 10 days instead of 5.
- Exhibit C – Mr. Ducoste presented that this is a housekeeping issue, to clarify the permitted use table allowances, up to 7,500sf rather than 10,000sf.
- Exhibit D – Mr. Ducoste presented that the lighting code is being updated to use lumens as the unit of measure rather than foot candles.
- Mr. Engle mentioned that the number of foot candles allowed should be adjusted to reflect the correct number of lumens.
- Exhibit F – Mr. Ducoste presented the proposed changes to the Sign Code; the change is to allow both temporary and permanent signs at 3 feet from the side property line.
- Exhibit G – Mr. Waters presented that these are proposed amendments to the landscape code; the residential code is good as it exists in the code, however the commercial code needs additional information added to address parking lots, setbacks, and impervious area, the types of trees required in these areas, how many trees are required per square foot, and additional clarifications regarding the Department responsible for the review process. Further changes are proposed to be presented in the future, to address issues relating to the penalties for trees, and discussion of invasive species.
- Mr. Rice questioned the code enforcement, fees, and fines process for sprinkler systems that are running while it is raining, and Mr. Waters responded with the process for addressing those code enforcement issues.
- Ms. Fitzhugh Sita pointed out a Scribner's error in the proposed landscape code.

- Mr. Engle questioned whether or not the code clarifies the use of 3 palm trees as shade trees, and Mr. Waters clarified that it does.
- Mr. Waters presented that the ACE group has taken on the task of presenting alterations to the home occupation provisions. The existing code has not been significantly updated for some time, aside from a minor amendment, to allow up to (3) home occupations per residence.
- The current proposal allows for a much greater spectrum of home occupations, and expands upon the types of uses allowed as home occupations. The ACE group would like to allow home occupation uses anywhere in the City, which is a substantial change from the current regulations. The proposal is a very progressive approach to home occupations, and that Staff does have many concerns with the proposal. Issues from Staff include how to enforce the expanded provisions, clarification for the levels of review would work. Many of the artisans in the community perhaps cannot afford a separate studio space, and would like to have a small scale business in their residence. Mr. Waters further clarified that currently these uses are allowed in the Mixed Use Districts, but not the Residential Districts. This proposal effectively allows commercial activities in the residential areas. (07:00 PM)
- Mr. Waters outlined the proposal from ACE, and included Staff concerns and comments. Mr. Waters mentioned that an updated business tax receipt study is needed, as the current study is outdated, and would not properly address the types and levels of home occupations that are being presented.
- Mr. Rice questioned whether or not the proposed changes to the home occupations code would affect the homestead exemption from the Property Appraiser.
- Mr. Waters presented that if the home occupation code changes being presented were adopted, it would be the most liberal Code in all of Palm Beach County.
- Mr. Rice clarified whether or not these provisions would apply to multi-family residences.
- Ms. Fitzhugh Sita commends the ACE group for their work on putting a proposal together, however she does feel that the extent of the proposed changes is significant, and is not meeting the intent of the Comprehensive Plan. She questioned the compatibility of these uses in the residential areas, and the fact that the proposal effectively converts the entire City to a Mixed-Use district. For the administrative uses, she feels that the hours of operation are too late, the signage is too large, and the outdoor storage would create mosquito issues, and would greatly impact the quality of life of neighbors. Further, she feels that these changes are significant enough that they would require a separate visioning process, and discussions with all of the neighborhoods. She would also question how enforceable these changes would be, with regards to parking, the number of employees, the number of visitors, etc.
- Mr. Waters expressed concerns over enforcement of the parking and traffic generation standards as they are defined in the proposal.
- Ms. LaTorre questioned whether or not the City has a survey or inventory relating to the parking that is required, and how many lots are in compliance with the parking regulations. Mr. Waters responded that an applicant for a home occupation would be required to submit documentation showing how the parking would be provided to meet the needs of the business. Ms. LaTorre further commented that she would worry about the enforcement of the parking issues, and who a homeowner would contact if a neighboring home occupation was creating a parking problem in the area.
- Mr. Waters discussed issues relating to the special events and the impact of those.
- Mr. Waters suggested that there is an interest in amending the sign code, and that there is some interest in having a standard sign City-wide for Sales, Rent, and Businesses.

- Mr. Marotta questioned the process for residents proposing alterations to the Code. Mr. Waters responded that in this case, a formal application has not been submitted for this code, however, he felt it was necessary to allow the Board a chance to comment on this proposal.
- Ms. Just questioned whether or not the Arts Overlay district is still in existence. Ms. Just expressed further concern over turning the entire City into a mixed-use district.
- Ms. LaTorre questioned whether or not certain food-type businesses would require a health inspection, and any licensing from the state, whether or not there would be any requirements for sales.
- Ms. Fitzhugh Sita questioned the hours of operation for the existing mixed use districts.
- Mr. Marotta questioned whether or not the electric rates would be commercial. Mr. Waters indicated that because the home occupation would not occupy more than 49% of the structure, the structures would still be considered residential, not commercial. Mr. Marotta further expressed concern over the fact that a Code Enforcement officer is not able to enter a property unless permitted by the owner, and they cannot cite a property unless they can observe the violation; therefore, it would be very difficult to even enforce the number of people and the type of use at the property.
- Mr. Rice noted that Lake Worth has a large number of rental properties, and that most landlords prevent businesses uses in their rental properties, and he questions whether or not this Code would allow a tenant to have a business even if the lease does not allow it, and further whether or not insurance would be required to cover the commercial-type use. From a liability standpoint, Mr. Rice expressed that he feels that proper insurance is required.

Public Comments (8:08 PM)

- April Krebs, 130 South Lakeside Drive – She will benefit from the changes proposed, and asks that the changes be made in order to update the home occupation Code. She does not currently have a business, but she is an artist, and would be interested in having an art based business.
- Doctor Quan Cao, 19910 Villa Lante Place, Boca Raton, FL - He teaches at the University, and travels to do consultations throughout the country, and he is glad that Lake Worth is encouraging the community to be an integral part of the City.
- John Szerdi, 217 South Palmway – Feels that this is an interesting proposition to discuss, he has a 10-unit apartment next to him, and it does not have any parking. His street is already challenged for parking, and he can't imagine if any or all of the apartments were to have a large commercial venture, it would be extremely difficult to find parking. He also does not believe it to be compatible with the Historic District, and the types of uses that were historically compatible in the districts. He feels that this is a large leap from the current regulations, and that although he does wish to encourage small start-up businesses and an incubator-type setting, he does not think that this proposal is appropriate for the City as a whole.
- Nina Kauder, 1809 N Palmway – She is a teaching chef, and goes around to places like Mounts Botanical to teach classes, and would greatly enjoy being able to teach in her own home. She specifically grows her own vegetables, composts, and is a model for sustainable business. Her current business in Boynton Beach is located in a Culinary business incubator building, in a commercial setting.
- Kim Wallant, 2393 Crawford Court, Lantana, FL – She loves Lake Worth, and frequents the arts and businesses in Lake Worth, she is an art and play therapist, and she would like to continue her business in a residence in Lake Worth. She would suggest that if occupational

- licenses are allowed in a specific area, and they are limited to a smaller series of uses, the new uses could be allowed, and taxed, and those tax fees would help to fund extra enforcement officers. She also feels there should be a difference between education and sales type functions.
- Erica Skolte, 1322 North K Street – She started a business when her job was threatened, she started doing the things she needed to, in order to brand and begin her business, she wanted to make t-shirts, jewelry, and painting.
 - Michael Fox, 1609 N D St – He would like to do art appraisal out of his house, and he wants to do things by the law. He stated that the ACE group has approximately 300 people, who are supporting this effort. He states that the Ordinance will cost the City very little, and that this can carry the City into a new economy, where almost 30% of all businesses are run from the home, and have had a very positive impact in the economy. He stated that cities such as Portland, Asheville, and Santa Fe.

Elise LaTorre left the dais at 8:29PM.

- Vee Corallo, 1500 Lucerne Ave #906 – Is for the ACE proposal.
- Elise Crohn, 11 2nd Ave S – ACE has been meeting for almost a year, and has researched this heavily, and has read the Code for over 100 cities. She found that often the cities most known for being vibrant cities, have very progressive home occupation codes. She stated that the American Planning Association has written a model ordinance for home occupations, and they use that language as a basis for this ordinance. She stated that she called many different Cities and spoke with them regarding the issues that were discussed tonight.
- Sander Schrantz, 210 S M St – He feels that the group is seeking to work with Staff and the community, and that he hopes people will give them consideration. Currently, he feels there are many issues with the types of allowed activities under the Code. Allowing these types of uses, would promote Lake Worth as an incubator for economic growth and promote small businesses.
- Beth Schrantz, 210 S M St – The Code language presented was part of a smart growth, sustainable model, micro-entrepreneurship, while maintaining the residential character of the neighborhoods. She understands the concerns, and does not wish to have parking issues near her residence either. She wants to see the community grow stronger, and work together to achieve a better home occupation code.
- Katie Curtis, 219 S L St – She is not an artist, but a realtor. She feels that this initiative is inventive and exciting, and she supports it.
- Marty Welfeld, 829 N Lakeside Dr – Statistically the vast majority of artists in the US have another job, as it is very difficult to make a living as an artist. He finds the proposal tonight very interesting, and although he finds it to be too invasive. He notes that in order for one group of people to gain the rights to these types of businesses, another group of people has to lose their rights. He is not interested in giving up his expectations of living in a residential neighborhood. He feels that it would be far superior to create an arts area, in order to concentrate their efforts.
- Teresa Miller, 829 N Lakeside Dr – She is concerned that no one in her neighborhood has heard about this. She had a home business, and states that there is a big difference between a small home office, and a home retail or commercial business.
- Peggy Fisher, 508 N A St – She lives in a single-family neighborhood, and she does not feel that this meeting was properly noticed as to the content of the meeting and the impact it would have on the residents of the City. This proposal affects the entire City, and the entire

City should be made aware of this change. Parking is a huge issue in this City, and she worries that these new businesses will create a substantial parking problem

- Loretta Sharpe – She is delighted to see the young people in the meeting tonight, but she is completely opposed to the proposal as presented tonight. She feels that this group needs to first present this to all of the neighborhood organizations, and gain their feedback. She feels that the Board should not even look at this until the proper notices
- Mark Humm – No comment at this time.
- Dustin Zacks – This is the largest group at a meeting that he has seen is quite a long time. His concerns going forward; 1- the parking problem he does not see how we could get around it, especially with up to 10 visitors, 2- the one-size fits all approach to this proposal all over the city, 3- there are only a few properties that would qualify for the most intense use, are likely the houses that are farther away from the Downtown, and likely they live there for the peace and quiet. He feels that some of the businesses suggested could be appropriate and allowed, such as art appraisal. He would recommend making the proposal significantly more strict.
- Mr Marotta – He understands the need for updates to the home occupation ordinance, and he is worried about the significance and impact of the proposal for home occupations. He stated that the parking issues are substantial. He does not feel that a City-wide ordinance is really going to work.
- Cindee Brown – Parking is a big issue, and the proposal is far too broad for her preferences. She is concerned that there are vacant buildings in downtown, and would prefer to see the traffic in those downtown buildings.
- Judith Just – The dynamics of being employed have changed significantly in this country, and she understands and appreciates that, and she does think that should be looked at. However, she is concerned with the volume and extent of the proposal.
- Darrin Engle – He commends the ACE group for being present tonight. He stated that he knows the group is reaching out to the various neighborhoods. He feels that Level 3 is a very intense use, and wonders if the other cities that employ a similar code are city wide. He would be worried about retail services in the neighborhoods, such as a beauty salon, or bakery. He worries about enforcement of abuse of the ordinance. He does feel that some degree of what ACE wants should be allowed here, just in an amended form.
- Erin Fitzhugh Sita – She thinks that it is very impressive that ACE is presenting a Code change. She feels that the Level 3 use is in violation of the Comprehensive Plan, but that Level 2 could have promise. The Arts Overlay district could be worth considering. She has significant concerns over outdoor storage, the tropical climate, and the enforcement. Parking is also an issue, particularly in the historic districts, where adding large amounts of parking and signage would be incompatible with the historic nature of the structures.
- Herman Robinson – we live in a great country where a group of people can have such an impact on their community. He feels we are innovative in Lake Worth, and he hopes that we can work to encourage that innovation. He is not in favor of signage in residential areas. He worries that enforcement will be very difficult in the residential areas. He thinks that a co-op would be an excellent idea.
- Greg Rice – He is appreciative of the presentation and the proposal tonight. He is very active in the neighborhood associations, and he highly recommends going out to the

various neighborhoods to present this information. He feels that we all love Lake Worth, and we all want to see this as a great, thriving, community.

Meeting adjourned at 9:25pm.

1. Amendment Section 23.2-36 Re-Zoning and Future Land Use Map: to Review of Proposed Amendments to the Land Development Regulations (LDRs)
 - Mr. Ducoste: Introduced the proposed amendments, and provided an explanation of process to re-zoning; stated that it was important to establish the need for appropriate data to support a demonstration of need; and that the additional language had been requested in order to ensure compatibility with existing regulations, sufficient infrastructure, and existing land use patterns
 - Board members discussed the following specifics of the amendment with Staff:
Discussion of public notice requirements; clarification of section 1E reference to “Section 2.2 of this Code”; discussion of policy to send agendas to neighborhood association or Neighborhood Association President’s Council; discussion to consider a policy that the Board be provided a letter of acknowledgement that the neighborhood association had awareness of a proposed project in their neighborhood; that property zoning changes should not be allowed on a whim in order to ensure that the City was protected from spot zoning; and discussion of additional language to provide for review criteria when a proposal to re-zone would adversely impact an historic district. Discussion that the same established requirements would apply to requests for City-initiated re-zoning; discussion of changes to an existing district boundary as opposed to re-zoning a property within an historic district; request for additional language to specify quasi-judicial process (substantial competent evidence clause); discussion of when the P&Z and HRPB boards functioned as the City’s LPA; correction of typo from ‘town to city’s discussion of public comment; insert requirement to address circumstances as in the PBC code; add language to ensure that isolated zoning district/spot zoning not created; clarify ‘nearby classifications’; clarify reference to ‘H’ ‘Economic Development Program’; define ‘Pay at or above County average hourly wage’; request for clarification of language addressing density/intensity of properties with high probable economic development; request for clarification of one year clause for review of projects which had previously been denied;; discussion that re-zoning and PUD approvals run with the land; discussion to include language to specify ‘consistency with policy of HRPB; and need to correct typos and inconsistencies in the initial draft.
 - City Attorney Comments: Ms. Alterman: Responded to Board member questions; stated that timely processing of applications was part of the attractiveness for development in

Lake Worth; and public opinion could not be used as the basis for a decision; Chapter 163 contained specific language to address re-zoning initiated by a municipality; public comment was statutory; approvals would run with the land if the project was substantially completed within one year or an extension had been requested

- Mr. Ducoste: Discussed the possibility to explore social media to inform the neighborhood associations of new projects; that intent of added language was to clarify the re-zoning process 01:05:00

2. 23.3-7 SFR:

- Staff Comments: Mr. Ducoste: Stated that the language would implement a 5% impervious surface incentive for single story housing with a cap at 15-feet; intent to further the goal of Comprehensive Plan to incentivize development and promote compact residential development
- Board Discussion: Request for clarification of 15-foot cap on single story height; eliminate #c and eliminate the reference to maximum 7499 square feet in #a and #b and make a uniform percentage; discussion of impervious surface calculations for swimming pools and pavers; comment that swimming pools should not be considered impermeable given the existing condition of infiltration into the water table
- Staff Comments: Ms. Sunny: Explanation of height measurement with an added 5% bonus for using the 15-foot cap

3. Sec 23.3-25(e) Mixed Use Planned Urban Development District: 1:20:00

- Board Discussion: Discussion of whether language “As provided in these LDRs shall be required” was too restrictive for a planned urban development; Urban Development provisions were usually more flexible to allow negotiation for development based upon the proposed development and the existing property limitations without creating increases to non-conformities; discussion that variance process was separate process from the urban development process; formatting issue with section a of the code; discussion what changes would allow: if the change permitted projects which would improve Lake Worth or if it would allow more cheap housing; discussion of what districts could be used to establish a MU PUD, and that 0.5 acres was acceptable if applied to only MU districts. 1:45:00
- Discussion that application of the language could be used to improve the Dixie Hwy corridor. Suggestion to use caution in crafting the appropriate language to avoid misperceptions
- Staff Comments: Mr. Ducoste: Provided an explanation of planned development which included provisions for setbacks, parking, etc.. that provisions could be flexible based upon the project; reference to RPD code section which provided for relaxation of standards with demonstration that a project would perform to the existing standards; potential to increase the minimum acre requirement to 1.0 acre; and that allowances for MU PUDs were defined in the permitted use table

4. Article 5; Historic Preservation 23.5-4:

- Board Attorney Comments: Ms. Alterman: Stated that additions to existing language clarified by strike-through and underline format; intent to establish process for penalty assessments to be heard by a magistrate; reparations included permits restored when payment received; value of assessment as related to the value of the historic resource which was lost; Board role to make recommendation of penalty to a magistrate; unless

there was a lien filed against the property, a new owner would not know that the issue existed, and the new language would cause the penalty to be filed as a lien in the public record

- Board Comments: Request for clarification of how process would apply to specific instances with proposed language; discussion of how process would apply with existing language; whether process existed which would allow a board to remove or waive a penalty; whether the payment would be made by the violator or the new owner in instances when the property was sold; Discussion of value of a historic resource based on the Property Appraiser's assessed value

5. 23.3-8 Sea Turtle Protection:

- Staff Comments: Mr. Ducoste: Stated that the intent to protect endangered sea turtles along the City's Beach coordination with DEP as is the case with Town of Palm Beach and other PBC Communities 2:00:00
- Board Comments: Discussion that the City did not have regulations for Sea Turtle Protection and the PBC regulations were used at the time of the Beach redevelopment; discussion to stay with county code until dark sky ordinance was ready for review; discussion of provision for private property illumination, but no language to address how far out into the water visible lighting would be restricted, discussion that there was no language to address lighting from existing buildings; a definition of illuminated was needed; discussion to include in the proposed language some specifics included in the county code; existing buildings were City-owned and existing lighting belonged to the City; discussion that bright lighting affected sea turtle hatchlings' sense of direction; potential to change lighting to operate at differing lumens based upon the season; question of when the ordinance would apply; and discussion that once the City adopted the proposed code revisions, citations for sea turtle lighting code violations would be issued by the City.
- Staff Comments: Mr. Ducoste Stated that the intent of the proposed language was for the City to have its own regulations for sea turtle lighting; discussion that work was being done on a dark sky ordinance which was a separate issue from sea turtle protection ordinance; and explanation that proposed language was new language
- City Attorney Comments: Ms. Alterman: Stated that since there was no ordinance in Lake Worth when the Beach complex was initiated, the county sea turtle lighting process was followed in order to obtain approvals; the proposed language was very similar to the county code; the basis for not having lighting on the beach during turtle season was the concept that standards could not be relaxed, for example the 600-ft. measurement could vary from community to community; and stated that the City's existing Beach and Casino Complex lighting was sea-turtle compliant.

6. City Attorney Comments: Ms. Alterman addressed questions regarding public notice, and process for re-zoning; stated that the Comprehensive Plan was the equivalent of the City's Constitution; that the Comprehensive Plan and Future Land Use Map amendments were much more complex and were more difficult to change; and discussed the process of establishing zoning as associated with the Land Use specified by the Comprehensive Plan. She advised that prior to these proposed amendments, there had been no language in the code to make provision for process 2:34:00



CITY OF LAKE WORTH
1900 2nd Ave N · Lake Worth, Florida 33461 · Phone: 561-586-1687

Agenda
Regular Meeting
City of Lake Worth
Historic Resources Preservation Board
City Hall Commission Room
7 North Dixie Hwy; Lake Worth, FL

WEDNESDAY, JANUARY 13, 2016 6:00 PM

1. Roll Call and Recording of Absences

Present : Jimmy Zoellner
Tom Norris
Herman Robinson
Darrin Engle
Erin Fitzhugh Sita

Absent: Judith Just

Late arrival: Erin Fitzhugh Sita 6:10 pm

Via conference call: Loretta Sharpe

Staff present include: Aimee Sunny, Preservation Planning Coordinator
Maxime Ducoste, Planning & Preservation Manager,
Carolyn Ansay, Board Attorney
Sherie Coale, Board Secretary

2. Pledge of Allegiance

3. Additions/Deletions/Reordering and Approval of the Agenda

None

4. Approval of Minutes

None – A. Sunny indicates minutes from previous months will be brought forward at the February meeting.

5. Cases

A. Swearing in of Staff and Applicants

Board Secretary administered oath to staff and applicants.

B. Proof of Publication

C. Withdrawals/Postponements

A. Sunny- Only the rear porch request for HRPB project Number 15-00100209 will be heard tonight. Due to noticing requirements not previously noted by staff the accessory garage will be heard at the next (February) meeting.

D. Consent

E. Public Hearings

1. Board Disclosure
None

F. Unfinished Business
None

G. New Business

1. HRPB Project Number 15-00100209: Consideration of a Certificate of Appropriateness (COA) for a rear porch addition, and new construction of a rear accessory garage, for the single-family structure located at 525 North Palmway; PCN# 38-43-44-21-15-162-0110. The subject property was constructed in 1939 and is a contributing resource within the Old Lucerne Local Historic District.

- A Sunny gives brief overview. Recommends hip be changed to gable, supporting columns should be larger and additional columns, windows are not in agreement with style. Recommends approval with added conditions.
- Open air
- D. Engel inquires about recommendation for 6x6 columns as opposed to 4x4 columns.
- Front porch has changed over time, staff cannot locate certificate of appropriateness
- D. Engle discusses frame vernacular style of columns based on examples in Key West and Delray Beach.
- Chair Robinson asks about structural soundness from engineering.
- A. Sunny indicates structural soundness does not indicate compatibility. 6 x 6 support in lieu of 4x4 since applicant does not want additional columns.
- T. Norris agrees the column size appears small.
- Larry Rowe, for applicant, agrees the columns will be close to 6 inches when finished/trimmed out. Other neighborhood homes have smaller columns. Existing roof will stand and will hip into the existing, hip roofs also being more insurance friendly. Looks warmer and better.
- D. Engle is not seeing the architectural detail he would like to see.

- A. Sunny says the drawings are simple engineering drawings and it does what it needs to do.

Larry Rowe indicates they will wrap and add to the columns.

A. Sunny states that the existing porch is not the original porch and not to make comparisons to the proposed.

E. Fitzhugh Sita questions the style of the roof (hip vs gable). Compatibility vs originality.

A.Sunny states that the original vs the hip will not be in disagreement with preservation standards.

E. Fitzhugh asks about standards of additions. A. Sunny reads excerpt from Secretary of Interior regarding the standards and supports the recommendation made here. Darrin re-writes a condition. Erin also wants the condition to be spelled out. Public Comment: Marian Cone agrees with Aimee in the analysis.

Larry Rowe – shed roof

Tom Norris-

Action:

Motion: D. Engle and 2nd by E. Fitzhugh Sita to approve subject to COA #2 re-write. Remove condition #7

Vote: Unanimous

2. HRPB Project Number 15-00100218: Consideration of a Certificate of Appropriateness (COA) for an addition to the single-family structure located at 721 North Palmway; PCN# 38-43-44-21-15-226-0110. The subject property was constructed in 1961 and is a non-contributing resource within the Northeast Lucerne Local Historic District.

A Sunny gives overview of 402 sq ft addition. The rear of the property is where the improvement will take place. Believes there can be additional improvements and has worked with the client. Sunroom enclosure and addition. Recommends approval of request with conditions: Enlarging windows, stucco to match, dimensional shingle to match existing.

T. Norris asks about windows being only issue, yes – recommendation to enlarge.

D. Engle – visual appearance similar to a “storage shed” to be used as a bedroom.

A Sunny recommends double windows.

GC speaking for owner. Property owner indicates the bedroom is for an elderly parent and due to physical limitations of family member the bed and bath was located in that particular position. Window size matches other windows Homeowner parent did not want too many windows, would be agreeable to 2 windows on the north side

Erin would like to change a condition to the south side that there be two (2) windows. May want to consider matching the north side as well. Owner would prefer one window on the north side. General discussion of window arrangement. There is a door directly to the outside permitting egress.

Loretta concurs/agrees if the family member needs this layout, it is vital to their well-being.

Owner indicates intent is to eventually replace all windows to white for house. Same size 2 over 2. A. Sunny- change out of all windows single hung 2 over 2.

- E. Fitzhugh Sita prefers to eliminate reference to LDR’S in the conditions as she considers this to be a foregone conclusion that the code will be adhered to.
- A. Sunny prefers it remain as it clarifies without doubt and without debate.

Action:

D. Engel motions with staff condition amending condition #4 to include 2 windows on south side bedroom (1 each side wall and future window replacement can be white to match with muntion. Loretta 2nd

Vote: Ayes. Unanimous.

3. HRPB Project Number 15-00100229: Consideration of a Certificate of Appropriateness (COA) for an addition to the single-family structure located at 826 North Palmway;

PCN# 38-43-44-21-15-230-0070. The subject property was constructed in 1940 and is a contributing resource within the Northeast Lucerne Local Historic District.

- A.Sunny provides overview of request. 196 sq ft addition scope will include gable end roof. Concerns over lack of detail of submitted plans.
- Owner Mr. Ona indicates there is already a slab where bedroom projected to go. 5x10 bathroom was a bedroom will remain a 2/2. Heavily landscaped.
- J. Zoellner confirms that staff is in favor of the plans presented, only the plans are lacking.
- A. Sunny concurs and adds a condition states that this proposal would receive complete evaluation at time of permit. If anything is affected at time of permit, it would come back to board for review. As conceived and presented at this point in time it is an acceptable proposal. Windows only in the proposal will be approved at this time.

D. Engel asks about floor levels being same, owner concurs. Also asks about muntins Exterior applied muntins are standard as opposed to internal muntins. Susan Ona states all windows will be replaced eventually, asks for recommendation. A Sunny states she has not reviewed this level of window replacement. Can be done at staff level if compatible but should come back via application.

No public comment.

Action: Motion: D. Engel 2nd J.Zollener with addition of condition#7 new soffits to match existing.

Vote: Ayes-unanimous

Mr Ona thanks A. Sunny.

4. HRPB Project Number 15-00100211: Consideration of a Certificate of Appropriateness (COA) for roof replacement to the subject property located at 731 N M St, PCN# 38-43-44-21-15-220-0090. The subject building was constructed in 1946 and the property is a contributing resource within the Northeast Lucerne Local Historic District.
 - A. Sunny recommends denial, original is rolled slate and has file documentation with masonry vernacular style. Several changes roof window and shutter replacements. Not in agreement with historic standards. Staff recommends denial. Decision criteria standards 2 & 5 apply to the recommendation. Aluminum standing seam not appropriate. Original was a rolled slate material. Staff recommends a white 3- dimensional shingle, white 3-tab shingle or white concrete tile.
 - T. Norris asks about rolled slate. A. Sunny indicates the lifespan is @ 9 yrs. and a very inexpensive material.

The applicant/ homeowner/ contractor is not present for questions.
 - A. Public Comment: Marian Cone questions how A.Sunny knew the white concrete tile was the correct roof. Says she is not certain what national standards would say about concrete tile. She believes composition would be the replacement. A. Sunny gave option of tile vs composition material (shingle).

H.Robinson cannot envision 3 tab shingle, and rolled would not pass permitting in south Florida.
 - E. Fizhugh Sita finds concrete tile to be prohibitively expensive and prefers Bermuda metal (horizontal metal panels.) as a less expensive alternative with the

look and style of flat tile. Can we look for materials that represent the look of metal roofs.

H. Robinson and J. Zoellner concur that a standing seam would be of better quality and visual appeal than what is presented or recommended. Vertical lines vs. horizontal lines.

T. Norris questions approximate lifespan of dimensional shingle. A. Sunny gives 10-15 varying according to manufacturer. Concrete tile averages up to @ 50 years. Justification statement presented by homeowner does not provide insight or a reason as to why the metal roof is being requested.

E. Fitzhugh Sita will provide contact information for the vendor to be provided to client by staff.

Action: J. Zollener motions to continue this item to next meeting. 2nd T. Norris.

Vote: Ayes 5/1 Loretta dissenting.

5. HRPB Project Number 15-00100230: Consideration of a Certificate of Appropriateness (COA) for exterior alterations and a Historic Preservation Ad Valorem Tax Exemption for the property located at 514 South J Street, PCN# 38-43-44-21-15-171-0100. The subject building was constructed c.1924 and the property is a contributing resource within the Southeast Lucerne Local Historic District.

M. Ducoste leaves room 7:42 pm returns 7:45

Only the exterior alterations will be heard tonight. Tax exemption will be heard in February. This is the pre-construction approval which is required for the tax abatement approval to proceed.

- A Sunny gives an overview. Intended to remain as a 3 unit bldg.. Does have current code issues.
- Chair asks if any of the units are occupied.
- Board Attorney reiterates any/all questions regarding the tax abatement will be addressed at the next meeting.
- E. Fitzhugh Sitas asks whether project will go to site plan review due to parking etc. Parking and landscaping is offensive, impervious surface is dominant and is difficult to see the contributing factors. There are questions regarding bringing property up to code.

M. Ducoste clarifies that concrete will not be removed (despite a non-conforming status) provided it was originally permitted due to not increasing the intensity of the site. Will not go to site plan because there are three (3) units only. E. Fitzhugh Sita states more landscape is needed, and cannot envision removing this property from tax roll.

- Owner Dale Wirz owns a landscaping and is planning on extensive landscaping. Interior demo and renovation. Six (6) over one (1) windows to remain as well as soffit. In agreement with landscaping and admits to a parking issue since it is a 3 unit.

Chair Robinson – will rely on building dept. for inspections for permits. A. Sunny will most likely go along for inspection.

Action:

Motion: E.Fitzhugh Sita for exterior alterations with staff recommendations. 2nd by D. Engel.

Vote: Ayes unanimous

Loretta signs off at 8:00 pm.

6. HRPB Approval of Proposed Amendments to the COA Approval Matrix
M Ducoste provides a overview of matrix and changes.

Changes: No fee for application for appeal

- J. Zoellner: expresses concern re: non-contributing needing Board approval and away from staff approval. Non- contributing should be either made contributing and reviewed by Board vs if it is non-contributing then staff can review.
- A Sunny agrees to put it back to staff if Board so desires. Reason for recommending board review (as opposed to staff) was due to previous conversations about difficulty of appeals for non-contributing structures.
- Board asks about expected load of projects.
- E. Fitzhugh Sita speaks to citizens buying non-contributing,. Accessory dwelling structures. Change: Staff approves non-contributing and can appeal to Board if in disagreement.
- T. Norris prefers to hear a case for non-contributing versus an appeal for non-contributing.
- Chair Robinson wishes to have a further discussion regarding “alternative materials” (vinyl windows). E. Fitzhugh Sita would like discussion to include metal roof panels. A. Sunny major input from staff, the burden of discovery falls to the Board members personal investigatory skills.

Action: Motion: Amend the matrix as presented. E. Fitzhugh Sita: 2nd T. Norris

Vote: All Ayes - unanimous

6. Planning Issues

- M. Ducoste poses the question if Board is amenable to attending a special meeting the 3rd Wed in February. The number of items on the agenda is prohibitive for the amount of time that will be required to review all projects.
- Board Attorney directs the Chair to not stray from the request on the floor. Clarifies that public noticing will occur in accordance with city requirements. Agenda packet will be complete when received by Board members. In order to adjourn with all items being heard on the 2nd Wednesday, the meeting could easily go to midnight or later. Leaves the staff with discretion to determine which cases go on the 10 & which go on the 17th.
- Some board members have schedule conflicts for the meeting date.
- M. Ducoste asks for email or call to decide.

7. Public Comments (3 minute limit)

8. Departmental Reports

A. Sunny and W. Waters presented to a neighborhood meeting on Monday night .Workshop will be scheduled to address Board’s desire to further investigate acceptable alternative materials and styles

9. Board Member Comments

E. Fitzhugh Sita mentions the historic district mission, we should align it to the comp plan.

D. Engle mentions a recently approved site that is now for sale also a recent visit to Boynton Womens Club. When Federal Hwy was widened, a tower was removed. T. Norris mentions the Everglades Club originally for Veterans.

January 13, 2016 Regular Meeting

T. Norris- no historic designation for his hometown in Mass despite dating to 1640.
Chair mentions Aimees' professional articulate demeanor during the neighborhood meeting.

Board Attorney will forward an update on ex-parti communications to Board members. Includes conversations with staff, independent research. 8 lines from the code. You do not want to prejudice your decision and have your vote or discussion thrown out. This applies to all cases.

10. Motion to adjourn at 9:08 pm by J. Zollener 2nd by E.Fitzhugh Sita
Ayes : unanimous

Attest:

Herman Robinson, Chairman

Submitted By:

Sherie Coale, Board Secretary

Minutes Approved:

Date

THE
LAKE WORTH HERALD

Published Once a Week
Lake Worth, Palm Beach County, Florida

STATE OF FLORIDA
COUNTY OF PALM BEACH:

BEFORE the undersigned authority personally appeared MARK J EASTON, who on oath says that he is PRESIDENT of *The Lake Worth Herald*, a weekly newspaper published at Lake Worth in Palm Beach County, Florida; that the attached copy of advertisement, being a Legal Notice in the matter of

Notice by the City of Lake Worth, Florida, Historic Resources Preservation Board, public hearing to be held at or after 6:00 p.m. on February 17, 2016, for HRPB Project #15-01400009, 15-00500013, 16-01500001, 15-00100217, 15-00100216, 15-00100215 and 15-00100214 in the City Hall Commission Chambers, 7 North Dixie Highway, Lake Worth, Florida,

was published in said newspaper in the issue of

February 4, 2016

Affiant further says that the said *The Lake Worth Herald* is a newspaper published at Lake Worth, in said Palm Beach County, Florida, and that the said newspaper has heretofore been continuously published in said Palm Beach County, Florida, each week and has been entered as second class mail matter at the post office in Lake Worth, in said Palm Beach County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.


MARK J EASTON

SWORN TO AND SUBSCRIBED before me this 4th day of February, A.D. 2016, by Mark J Easton, who is known to me.


Notary Public, State of Florida at Large



DEBRA J SNODGRASS
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF046522
Expires 9/18/2017

Legal Notice No. 28883

PLEASE TAKE NOTICE that the Historic Resources Preservation Board City of Lake Worth, Florida, will hold a public hearing in the City Commission Room, in said City at or after 6:00 PM on February 17, 2016, to consider a request by Bonnie Mitchell, Esq., Agent, for the following:

- HRPB Project# 15-01400009, Major Site Plan to renovate and redevelop the Historic Gulfstream Hotel and related properties, including an application for the Sustainable Bonus Incentive Program. The subject site is +/- 79,304 square feet located at 1 Lake Avenue, 11 Lake Avenue, and 12, 14, 20, 22, and 24 South Lakeside Drive pursuant to Section 23.2-30, 23.2-31, 23.2-32, and 23.2-33 of the Land Development Regulations (LDRs).
- HRPB Project# 15-00500013, Conditional Use Permit to allow for the renovation and redevelopment and expansion of the historic Gulfstream Hotel and accessory uses within the Downtown (DT) Zoning District, pursuant to Section 23.3-14 and 23.2-29 of the LDRs.
- HRPB Project# 16-01500001, Setback Variances for the location of an electric utility transformer, pursuant to Section 23.3-14 of the LDRs; HRPB Project# 15-00100217, Certificate of Appropriateness (COA) for Exterior Alterations to the existing historic Gulfstream Hotel pursuant to Section 23.5-4 of the LDRs.
- HRPB Project# 15-00100216, Certificate of Appropriateness (COA) for an Addition to the existing historic Gulfstream Hotel, including a request for a Historic Waiver, pursuant to Section 23.5-4 of the LDRs.
- HRPB Project# 15-00100215, Certificate of Appropriateness (COA) for New Construction of a new hotel structure and parking garage, including a request for a Historic Waiver, pursuant to Section 23.5-4 of the LDRs.
- HRPB Project# 16-00100214, Certificate of Appropriateness (COA) to allow the demolition of two buildings located at 14 S Lakeside Dr, pursuant to Section 23.5-4, of the LDRs. These structures are contributing to the South Palm Park Local Historic District.

The subject property location is a +/- 79,304 square foot site, located on 1 Lake Avenue and 11 Lake Avenue, and 12, 14, 20, 22 and 24 South Lakeside Drive, Property Control Numbers (PCNs): 98-43-44-21-15-033-0010; 98-43-44-21-16-033-0030; 98-43-44-21-15-033-0040; 98-43-44-21-15-033-0050; 98-43-44-21-16-033-0060; 98-43-44-21-15-033-0070; 98-43-44-21-16-033-0080.

The Public Hearing will be conducted at the above stated time or as soon thereafter as possible.

Written responses can be sent to the Lake Worth Historic Resources Preservation Board at 1900 2nd Avenue N, Lake Worth, FL 33461 and must arrive before the hearing date to be included in the formal record. You also have the opportunity to attend the meeting to provide oral testimony.

For additional information on the above issues, please visit the City of Lake Worth Division of Planning, Zoning and Historic Preservation located at 1900 Second Ave. North, Lake Worth, Florida 33461 or contact City Staff at 561-586-1687.

If an affected party desires to appeal any decision made by the Board, Agency or Commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings and there, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (FS 226.0100)

In accordance with the provisions of the American with Disabilities Act (ADA) this document may be requested in an alternative format. Persons in need of special accommodations to participate in this proceeding are entitled to the provision of certain assistance. Please call 681-586-1687 no later than five (5) days before the hearing if this assistance is required.

Published: The Lake Worth Herald
February 4, 2016

Legal Notice

PLEASE TAKE NOTICE that the Historic Resources Preservation Board City of Lake Worth, Florida, will hold a public hearing in the City Commission Room, in said City at or after 6:00 PM on February 17, 2016, to consider a request by Bonnie Mikel, Esq., Agent, for the following:

- a) HRPB Project# 15-01400009, Major Site Plan to renovate and redevelop the Historic Gullstream Hotel and related properties, including an application for the Sustainable Bonus Incentive Program. The subject site is 79,304 square feet located at 1 Lake Avenue, 11 Lake Avenue, and 12, 14, 20, 22, and 24 South Lakeside Drive pursuant to Section 23.3-10, 23.2-31, 23.2-32, and 23.3-33 of the Land Development Regulations (LDR).
- b) HRPB Project# 15-00200013, Conditional Use Permit to allow for the renovation and re-development and expansion of the historic Gullstream Hotel and accessory uses within the Downtown (DT) zoning District, pursuant to Section 23.3-6 and 23.2-29 of the LDR.
- c) HRPB Project# 16-01500001, Setback Variance for the location of an electric utility transformer, pursuant to Section 23.3-14 of the LDR.
- d) HRPB Project# 15-00100217, Certificate of Appropriateness (COA) for Exterior Alterations to the existing historic Gullstream Hotel pursuant to Section 23.3-4 of the LDR.
- e) HRPB Project# 15-00100216, Certificate of Appropriateness (COA) for an Addition to the existing historic Gullstream Hotel, including a request for a Historic Waiver pursuant to Section 23.3-4 of the LDR.
- f) HRPB Project# 15-00100215, Certificate of Appropriateness (COA), for New Construction of a new hotel structure and parking garage, including a request for a Historic Waiver, pursuant to Section 23.3-4 of the LDR.
- g) HRPB Project# 15-00100214, Certificate of Appropriateness (COA) to allow the demolition of two buildings located at 14 S Lakeside Dr, pursuant to Section 23.3-4 of the LDR. These structures are contributing to the South Palm Park Local Historic District.

The subject property location is a 479,304 square foot site, located at 1 Lake Avenue and 11 Lake Avenue, and 12, 14, 20, 22 and 24 South Lakeside Drive. Property Control Numbers (PCNs): 15-03-44-21-15-033-0010; 15-03-44-21-15-033-0020; 15-03-44-21-15-033-0030; 15-03-44-21-15-033-0040; 15-03-44-21-15-033-0050; 15-03-44-21-15-033-0060; 15-03-44-21-15-033-0070; 15-03-44-21-15-033-0080.

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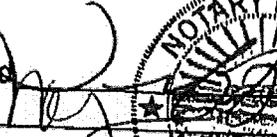
If an affected party decides to appeal any decision made by the Board, Agent, or Commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (15-036.010)

In accordance with the provisions of the American with Disabilities Act (ADA) this document may be requested in an alternative format. Persons in need of special accommodation to participate in this proceeding are entitled to the provision of certain assistance. Please call 561-586-1697, no later than five (5) days before the hearing if this assistance is required.

Curt Thompson or Almee Sunny
 Planning, Zoning, and Historic Preservation
 Ph: 561-586-1697 or 561-586-1699

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 2-0-2016 0333340

CITY OF LAKE WORTH PROOF OF PUBLICATION
 STATE OF FLORIDA COUNTY OF PALM BEACH
 Before the undersigned authority personally appeared Tiffani Everett, who on oath says that she is Call Center Legal Advertising Representative of The Palm Beach Post, a daily and Sunday newspaper, published at West Palm Beach in Palm Beach County, Florida; that the attached copy of advertising for a Notice was published in said newspaper on First date of Publication 02/04/2016 and last date of Publication 02/04/2016 Affiant further says that the said The Post is a newspaper published at West Palm Beach, in said Palm Beach County, Florida, and that the said newspaper has heretofore been continuously published in said Palm Beach County, Florida, daily and Sunday and has been entered as second class mail matter at the post office in West Palm Beach, in said Palm Beach County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she/he has neither paid nor promised any person, firm or corporation any discount rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper. Also published in Martin and St. Lucie Counties.
 NOTICE Ad ID: 1052930 Ad Cost: 423.12

Signed  RADIA VAGEDES, Notary Public
 in and for the State of Ohio
 My Commission Expires Sept. 2, 2019

Sworn to and subscribed before me on 02/04/2016.
 Who is personally known to me



FORM 8B MEMORANDUM OF VOTING CONFLICT FOR COUNTY, MUNICIPAL, AND OTHER LOCAL PUBLIC OFFICERS

LAST NAME—FIRST NAME—MIDDLE NAME Engel, Darrin John	NAME OF BOARD, COUNCIL, COMMISSION, AUTHORITY, OR COMMITTEE Historic Resources Preservation Board, City of Lake Worth
MAILING ADDRESS 235 Fordham Drive	THE BOARD, COUNCIL, COMMISSION, AUTHORITY OR COMMITTEE ON WHICH I SERVE IS A UNIT OF: <input checked="" type="checkbox"/> CITY <input type="checkbox"/> COUNTY <input type="checkbox"/> OTHER LOCAL AGENCY
CITY Lake Worth	COUNTY Palm Beach
DATE ON WHICH VOTE OCCURRED February 17th, 2016	NAME OF POLITICAL SUBDIVISION: MY POSITION IS: <input type="checkbox"/> ELECTIVE <input checked="" type="checkbox"/> APPOINTIVE

WHO MUST FILE FORM 8B

This form is for use by any person serving at the county, city, or other local level of government on an appointed or elected board, council, commission, authority, or committee. It applies to members of advisory and non-advisory bodies who are presented with a voting conflict of interest under Section 112.3143, Florida Statutes.

Your responsibilities under the law when faced with voting on a measure in which you have a conflict of interest will vary greatly depending on whether you hold an elective or appointive position. For this reason, please pay close attention to the instructions on this form before completing and filing the form.

INSTRUCTIONS FOR COMPLIANCE WITH SECTION 112.3143, FLORIDA STATUTES

A person holding elective or appointive county, municipal, or other local public office **MUST ABSTAIN** from voting on a measure which would inure to his or her special private gain or loss. Each elected or appointed local officer also **MUST ABSTAIN** from knowingly voting on a measure which would inure to the special gain or loss of a principal (other than a government agency) by whom he or she is retained (including the parent, subsidiary, or sibling organization of a principal by which he or she is retained); to the special private gain or loss of a relative; or to the special private gain or loss of a business associate. Commissioners of community redevelopment agencies (CRAs) under Sec. 163.356 or 163.357, F.S., and officers of independent special tax districts elected on a one-acre, one-vote basis are not prohibited from voting in that capacity.

For purposes of this law, a "relative" includes only the officer's father, mother, son, daughter, husband, wife, brother, sister, father-in-law, mother-in-law, son-in-law, and daughter-in-law. A "business associate" means any person or entity engaged in or carrying on a business enterprise with the officer as a partner, joint venturer, coowner of property, or corporate shareholder (where the shares of the corporation are not listed on any national or regional stock exchange).

* * * * *

ELECTED OFFICERS:

In addition to abstaining from voting in the situations described above, you must disclose the conflict:

PRIOR TO THE VOTE BEING TAKEN by publicly stating to the assembly the nature of your interest in the measure on which you are abstaining from voting; *and*

WITHIN 15 DAYS AFTER THE VOTE OCCURS by completing and filing this form with the person responsible for recording the minutes of the meeting, who should incorporate the form in the minutes.

* * * * *

APPOINTED OFFICERS:

Although you must abstain from voting in the situations described above, you are not prohibited by Section 112.3143 from otherwise participating in these matters. However, you must disclose the nature of the conflict before making any attempt to influence the decision, whether orally or in writing and whether made by you or at your direction.

IF YOU INTEND TO MAKE ANY ATTEMPT TO INFLUENCE THE DECISION PRIOR TO THE MEETING AT WHICH THE VOTE WILL BE TAKEN:

- You must complete and file this form (before making any attempt to influence the decision) with the person responsible for recording the minutes of the meeting, who will incorporate the form in the minutes. (Continued on page 2)

APPOINTED OFFICERS (continued)

- A copy of the form must be provided immediately to the other members of the agency.
- The form must be read publicly at the next meeting after the form is filed.

IF YOU MAKE NO ATTEMPT TO INFLUENCE THE DECISION EXCEPT BY DISCUSSION AT THE MEETING:

- You must disclose orally the nature of your conflict in the measure before participating.
- You must complete the form and file it within 15 days after the vote occurs with the person responsible for recording the minutes of the meeting, who must incorporate the form in the minutes. A copy of the form must be provided immediately to the other members of the agency, and the form must be read publicly at the next meeting after the form is filed.

DISCLOSURE OF LOCAL OFFICER'S INTEREST

I, Darrin Engel, hereby disclose that on February 17th, 20 16 :

(a) A measure came or will come before my agency which (check one or more)

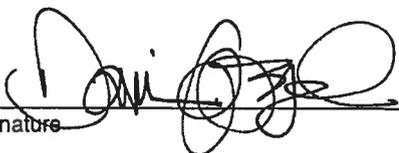
- inured to my special private gain or loss;
- inured to the special gain or loss of my business associate, _____ ;
- inured to the special gain or loss of my relative, _____ ;
- inured to the special gain or loss of REG Architects, Inc., by whom I am retained; or
- inured to the special gain or loss of _____, which is the parent subsidiary, or sibling organization or subsidiary of a principal which has retained me.

(b) The measure before my agency and the nature of my conflicting interest in the measure is as follows:

I am employed by REG Architects, Inc. which is pursuing a contract to assist in architectural consulting on the Gulfstream Hotel Development with Hudson Holdings, the Owner of the Gulfstream Hotel. A contract has not been secured yet, February 24th, but may be in the near future.

If disclosure of specific information would violate confidentiality or privilege pursuant to law or rules governing attorneys, a public officer, who is also an attorney, may comply with the disclosure requirements of this section by disclosing the nature of the interest in such a way as to provide the public with notice of the conflict.

February 24th, 2016
Date Filed


Signature

NOTICE: UNDER PROVISIONS OF FLORIDA STATUTES §112.317, A FAILURE TO MAKE ANY REQUIRED DISCLOSURE CONSTITUTES GROUNDS FOR AND MAY BE PUNISHED BY ONE OR MORE OF THE FOLLOWING: IMPEACHMENT, REMOVAL OR SUSPENSION FROM OFFICE OR EMPLOYMENT, DEMOTION, REDUCTION IN SALARY, REPRIMAND, OR A CIVIL PENALTY NOT TO EXCEED \$10,000.



MEMORANDUM DATE: March 2, 2016

AGENDA DATE: March 9, 2016

TO: Chair and Members of the Historic Resources Preservation Board

RE: **520 North Palmway**

FROM: Aimee N. Sunny, Preservation Planning Coordinator
Department for Community Sustainability

TITLE: HRPB Project Number 15-00100231: Consideration of a Certificate of Appropriateness (COA) for roof replacement to the subject property located at **520 North Palmway**, PCN# 38-43-44-21-15-164-0050. The subject building was constructed in 1939 and the property is a contributing resource within the Old Lucerne Local Historic District.

OWNER: Dana McLaughlin
520 North Palmway
Lake Worth, FL 33460

BACKGROUND:

This case was heard at the February 10, 2016, HRPB meeting and the Board voted to continue the case to the March 9, 2016, regular meeting. The Board requested additional information to be provided by the Applicant addressing the feasibility of coating or repairing the roof, or proposing a different roof material that would be compatible with the existing interlocking metal shingle roof. To date, Staff has not received any additional information from the Applicant.

Staff has conducted a cursory search of metal shingle roof materials, and has found three products that could closely replicate the existing metal shingles and are approved to be installed in this area. These products include a Berridge "Victorian" silver metal shingle, a Classic Metal Roofing Systems "Oxford Shingle" in Shake Gray, and a Tamko "Stonecrest Tile Shingle" in Sierra Slate Gray or a custom silver color. Basic information about these products has been included as Attachment 8.

The property at 520 North Palmway has a one-story single-family structure built in 1939 in a Frame Vernacular style. The property has frontage on North Palmway to the west. The original architectural plans for the main house are available in the City's property files, and were designed by Paist and Steward Architects from Miami, Florida. Based on the original plans, the building has undergone few alterations over time. The building retains many character defining features, including lap siding, metal shingles, and a brick chimney. The original wood windows were changed in 1994, however the new windows retain the 1/1 configuration and conform to the

original openings. Overall, the building retains a high level of historic integrity of location, setting, materials, craftsmanship, and design.

REQUEST:

The Applicant is proposing to replace the existing original interlocking galvanized metal shingles with a Southeastern Metals SEM-Lok Snap Standing Seam 16" wide aluminum roof panel system.

COMPREHENSIVE PLAN CONSISTENCY:

It is the opinion of Staff that the project, as proposed, is not consistent with the Comprehensive Plan goals and objectives concerning historic preservation and housing due to the fact that the Applicant is proposing a change that will have an adverse effect on the historic integrity of the property.

Goal 1.4 Encourage preservation and rehabilitation of historic and natural resources and where appropriate restrict development that would damage or destroy these resources. (Objective 1.4.2)

Objective 3.2.5: To encourage the identification of historically significant housing, and to promote its preservation and rehabilitation as referenced by the Surveys of Historic Properties conducted for the City of Lake Worth.

Policy 3.2.5.1: Properties of special value for historic, architectural, cultural or aesthetic reasons will be restored and preserved through the enforcement of the City's Historic Preservation Ordinance to the extent feasible.

CONSEQUENT ACTION:

Approve the application; approve the application with conditions; continue the hearing to a date certain to request additional information; or deny the application.

ANALYSIS:

Staff has reviewed the documentation and materials provided in this application and applied the applicable guidelines and standards found in the City's Historic Preservation Ordinance, detailed in Attachment 1 – Decision Criteria.

The National Park Service and Secretary of the Interior's Standards have very specific criteria regarding replacement of historic materials. Specifically Standards 2, 5, and 6 apply in this situation:

Standard 2 - The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard 5 - Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard 6 - Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

According to the Secretary of the Interior's Standards, distinctive materials that characterize a property shall be preserved. The roof material is an important character defining feature of a historic property. According to the architect's specification book provided in the City's property file, and included as Attachment 4, the original roof material installed in 1939 was "interlocking galvanized metal shingles, with a 15 lb. felt underlayment. The original metal shingles are still in place, and have rusted over time. A previous owner painted the shingles with an elastomeric silver paint, which is now peeling off of the shingles.

It is the opinion of Staff that the proposed change to an aluminum standing seam roof is not appropriate for the structure, and negatively effects a character defining feature of the property. The metal shingles have a horizontal rhythm and scale that is substantially different from the crisp vertical lines and shadows of the standing seam roof. Additionally, the Frame Vernacular style of architecture in the late 1930's primarily used metal shingles, and did not use standing seam metal. The metal shingles represent a distinctive material and level of craftsmanship that is very indicative of the local Frame Vernacular style.

The National Park Service Preservation Brief #4 "Roofing for Historic Buildings" has been included as Attachment #7. This Brief discusses the issues and options for the repair and replacement of historic roofs. Under the "Alternative Materials" section of the Brief, Staff would like to draw special attention to this paragraph:

"In a rehabilitation project, there may be valid reasons for replacing the roof with a material other than the original. The historic roofing may no longer be available, or the cost of obtaining specially fabricated materials may be prohibitive. But the decision to use an alternative material should be weighed carefully against the primary concern to keep the historic character of the building. If the roof is flat and is not visible from any elevation of the building, and if there are advantages to substituting a modern built-up composition roof for what might have been a flat metal roof, then it may make better economic and construction sense to use a modern roofing method. But if the roof is readily visible, the alternative material should match as closely as possible the scale, texture, and coloration of the historic roofing material."

Additionally, Staff has contacted the Florida Division of Historical Resources with regards to the request for roof replacement with standing seam metal. The response from the State's Senior Architect, Kenneth Cureton, is included as Attachment 3. In particular, Staff would like to draw attention to the follow excerpt,

"We would strongly advise against sheet metal products, since the strong vertical lines and shadows of such products would adversely impact the historic status of the building, as it would completely change the character of the roof and have no historical basis."

With regards to alternate roof options, the letter from Mr. Cureton states,

"In all four cases you have presented, the first consideration would be replacement of the historic materials based on pictorial evidence, which you have provided. The NPS Guidelines allows that when an in-kind replacement of a historic roof "...is not technically or economically feasible, then a compatible substitute material may be considered." The key here is compatibility. If in-kind replacement is not feasible, our opinion of a compatible roof for these particular projects is the actual roof material would be subordinate to the color and pattern that the historic roof provided. The low slope of the roof pitch in all four examples would allow for replacement with an architectural grade shingle, provided it was in the light grey color range the metal shingles originally presented. We feel that a white shingle would not be an appropriate color."

Replacement metal shingles are still available, and are therefore technically feasible. Additionally, this is the primary sloped roof for the structure and is readily visible. The metal shingles are the only product that will properly replicate the “scale, texture, and coloration of the historic roofing material” as required by National Park Service’s Standards for the Rehabilitation of Historic Properties. If it is determined that the metal shingles are not financially feasible, the recommendation from the Florida Division of Historical Resources is that a light gray architectural dimensional shingle should be used. Staff will defer to the Board regarding the economic feasibility of the products.

RECOMMENDATION:

Staff recommends that the Board deny the application as submitted, given that the metal roof installation as proposed by the Applicant does not meet the Secretary of the Interior’s Standards for Rehabilitation, does not meet the criteria set forth in the City of Lake Worth Land Development Regulations §23.5-4(k), and will have an adverse effect on the integrity and character of the property.

If the Board chooses to approve a replacement roof for the structure, Staff recommends the following conditions:

- 1) The replacement roof material shall be silver metal shingles, to replicate the existing metal shingles as closely as possible.

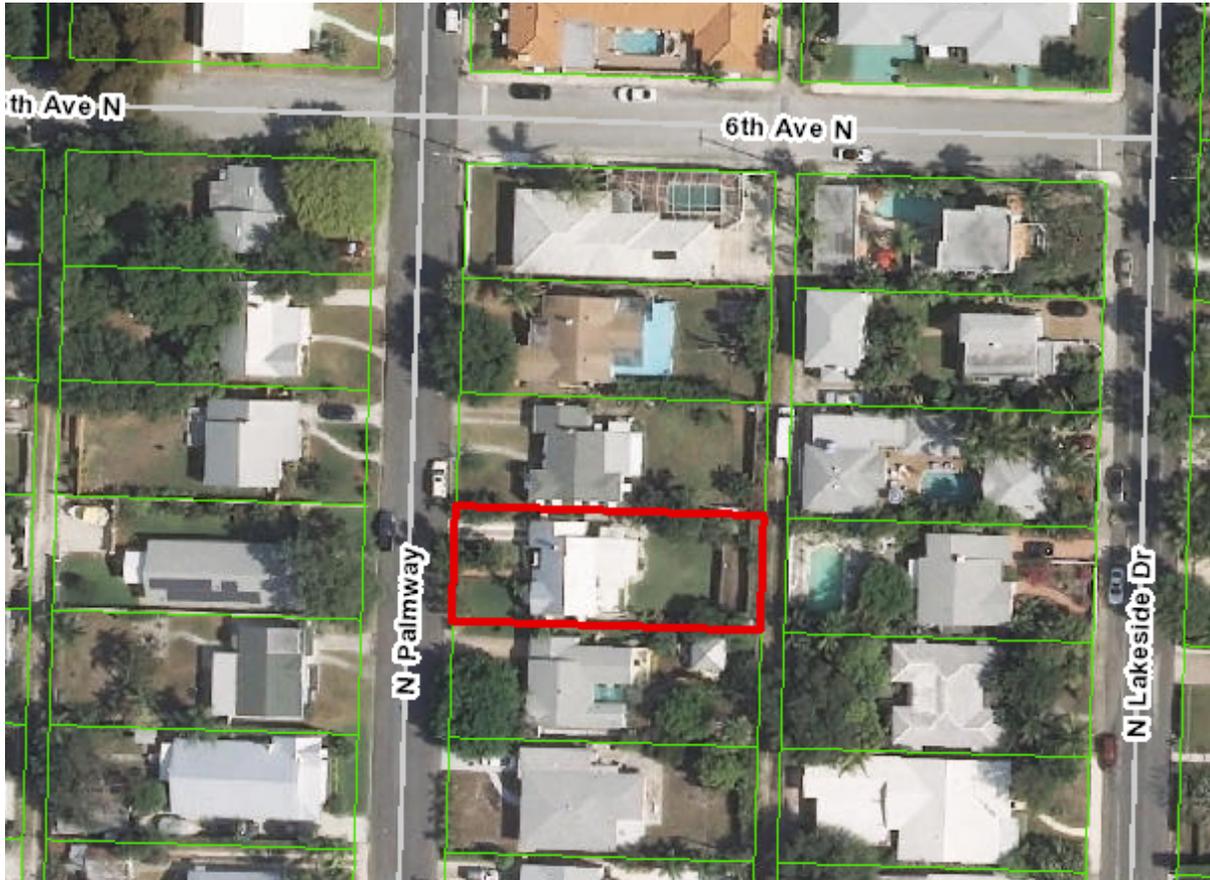
POTENTIAL MOTION:

I MOVE TO APPROVE/DENY HRPB 15-00100231: Consideration of a Certificate of Appropriateness (COA) for roof replacement for the subject building located at 520 North Palmway as recommended by Staff.

ATTACHMENTS:

1. Administrative Decision Criteria
2. Application Photographs
3. Memo from Kenneth Cureton
4. Original Architectural Drawings
5. Justification Statement
6. Roof Quotes and Specifications
7. NPS Preservation Brief #4 “Roofing for Historic Buildings”
8. Metal Shingle Options

LOCATION MAP



MEMORANDUM

DATE: February 3, 2016

TO: Chair and Members of the Historic Resources Preservation Board

FROM: Aimee N. Sunny, Preservation Planning Coordinator
Department of Community Sustainability

SUBJECT: HRPB Project Number 15-00100231: Consideration of a Certificate of Appropriateness (COA) for roof replacement to the subject property located at **520 North Palmway**, PCN# 38-43-44-21-15-164-0050. The subject building was constructed in 1939 and the property is a contributing resource within the Old Lucerne Local Historic District.

HRPB Meeting Date: February 10, 2016

Per Section 23.5-4k(1) of the historic preservation ordinance, the Board shall use the following criteria in making a determination:

A. What is the effect of the proposed work on the landmark or the property upon which such work is to be done?

Response: It is the opinion of Staff that the proposed work on the property located at 520 North Palmway will have an adverse visual effect on the building.

B. What is the relationship between such work and other structures on the landmark site or other property in the historic district?

Response: The proposed work will have no direct physical effect on any surrounding properties within the surrounding Old Lucerne Local Historic District. However, the project would have an adverse visual effect on the building itself and an indirect adverse effect on the district.

C. To what extent will the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property be affected?

Response: The project as proposed would have an adverse effect on the integrity of material and design of the building. The proposed roof replacement is not compatible with the architectural style and design of the structure.

D. Would denial of a certificate of appropriateness deprive the property owner of reasonable beneficial use of his property?

Response: The denial of this COA as submitted does not prevent the Applicant from proposing other alterations to the home, or re-roofing with an alternate recommended material.

E. Are the applicant's plans technically feasible and capable of being carried out within a reasonable time?

Response: Yes.

F. Do the plans satisfy the applicable portions of the general criteria contained in the United States Secretary of the Interior's Standards for Rehabilitation then in effect or as they may be revised from time to time? The current version of the Secretary's Guidelines provides as follows:

(1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Response: No change to the use of the property is proposed.

(2) This historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Response: It is the opinion of Staff that the proposed metal roof material would alter the Frame Vernacular character of the structure by altering the strong horizontal lines of the existing metal shingle roof.

(3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Response: Not applicable to this project.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Response: Not applicable to this project.

(5) Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Response: The roof is a distinctive feature of the structure, and the type of roof material used on the structure should be retained. The metal shingle is an example of the craftsmanship of the 1930's and was widely used in Frame Vernacular design. This is an important design feature, and should be preserved or replaced in kind.

(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities.

Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or because the different architectural elements from other buildings or structures happen to be available for relocation.

Response: Not applicable to this project.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Response: Not applicable to this project.

(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Response: Not applicable to this project.

(9) New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Response: The application is not proposing a new addition.

(10) New additions and adjacent or related new construction shall be undertaken in such manner that, if removed in the future, the essential form and integrity of the historic building and its environment would be unimpaired.

Response: Not applicable to this project.

G. What are the effects of the requested change on those elements or features of the structure which served as the basis for its designation and will the requested changes cause the least possible adverse effect on those elements or features?

Response: It is the opinion of Staff that the historic character of the property would be adversely affected by the proposed project as submitted by the Applicant, as outlined above. The proposal does not represent the least possible adverse effect.

Section 23.5-4k(2). Additional guidelines for alterations.

In approving or denying applications for certificates of appropriateness for alterations, the HRPB shall also consider the following additional guidelines:

A. Is every reasonable effort being made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or to use the property for its originally intended purpose?

Response: No change to the use of the property is proposed.

B. Are the distinguishing original qualities or character of a building, structure or site and its environment being destroyed? The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible.

Response: It is the opinion of Staff that the historic character of the property would be adversely affected by the proposed project as submitted by the Applicant, as the original style of the building would be affected by the alterations proposed.

C. When a certificate of appropriateness is requested to replace windows or doors, the HRPB shall permit the property owner's original design when the HRPB's alternative design would result in an increase in cost of thirty (30) percent above the owner's original cost. The owner shall be required to demonstrate to the HRPB that:

(1) The work to be performed will conform to the original door and window openings of the structure; and

Response: Not applicable to this project.

(2) That the replacement windows or doors with less expensive materials will achieve a savings in excess of thirty (30) percent over historically compatible materials otherwise required by this code.

Response: Not applicable to this project.





520

520





Aimee Sunny

From: Cureton, Kenneth H. <Kenneth.Cureton@dos.myflorida.com>
Sent: Friday, February 05, 2016 4:17 PM
To: Aimee Sunny
Subject: RE: Lake Worth - Roof Questions

Aimee

To follow up on our conversation this morning, the State Historic Preservation Office follows the National Park Service / Secretary of the Interior's Standards for Rehabilitation and Guidelines for the Rehabilitation of Historic Buildings explicitly when reviewing projects under our purview, along with the supplemental guidance NPS provides. Such additional NPS guidance can be found in their preservation topics index here:

<http://www.nps.gov/tps/how-to-preserve/by-topic.htm>

These standards are incorporated by reference in Section 1203 and Appendix B of the Florida Building Code – Existing Building, 5th Edition as code mandated requirements for work on buildings that meet the definition of a **Historic Building** in Section 1202 therein. Therefore, the argument can be made that if the Standards are not followed, the work is not in compliance with the building code.

In all four cases you have presented, the first consideration would be replacement of the historic materials based on pictorial evidence, which you have provided. The NPS Guidelines allows that when an in-kind replacement of a historic roof “...is not technically or economically feasible, then a *compatible* substitute material may be considered.” The key here is compatibility. If in-kind replacement is not feasible, our opinion of a *compatible* roof for these particular projects is the actual roof material would be subordinate to the color and pattern that the historic roof provided. The low slope of the roof pitch in all four examples would allow for replacement with an architectural grade shingle, provided it was in the light grey color range the metal shingles originally presented. We feel that a white shingle would not be an appropriate color.

We would strongly advise against sheet metal products, since the strong vertical lines and shadows of such products would adversely impact the historic status of the building, as it would completely change the character of the roof and have no historical basis.

We would also strongly advise that if a lack of selection of metal shingles with Florida Product Approval is the reason for higher costs, your authority having jurisdiction should contact the Florida Building Commission to investigate local product approval options.

Hope this opinion helps clarify how we would view such issues on a State level.

Thanks for your inquiry and best of luck with your projects.

Kenneth H. Cureton, R.A., NCARB

Senior Architect, Bureau of Historic Preservation | Division of Historical Resources | Florida Department of State | 500 South Bronough Street | Tallahassee, Florida 32399 | 850.245.6343 | 1.800.847.7278 | Fax: 850.245.6439 | Kenneth.Cureton@DOS.MyFlorida.com | dos.myflorida.com/historical



From: Aimee Sunny [mailto:asunny@LakeWorth.org]
Sent: Friday, February 05, 2016 12:03 PM
To: Cureton, Kenneth H.
Cc: Hilburn, Richard L.
Subject: Lake Worth - Roof Questions

Mr. Cureton,

Thank you very much for your time and consideration this morning regarding the projects I mentioned in Lake Worth. I very much appreciate your analysis and discussion on the various roof types we discussed, as they relate to historic properties.

As I mentioned, I have attached a few photos of several cases that will be heard before the HRPB next Wednesday, February 10th, and I welcome your input:

520 N Palmway – Contributing, c.1940, Frame Vernacular, with original flat metal shingles. The request is for Southeastern Metals, SEM-Lok Snap Standing Seam 16” wide Aluminum panels.

612 N Palmway – Contributing, c.1940, Frame Vernacular, with original flat metal shingles. The request is for Gulf Coast Supply, Gulf-Lok 16” Wide Roof Panels, 26 gauge steel.

726 N M St – Non-contributing, c. 1940, Frame Vernacular, with original flat metal shingle that have been coated several times. The request is for CertainTeed Landmark dimensional asphalt shingles.

731 N M St – Surveyed as Contributing, but has lost many features over time. 1946, Masonry Vernacular. The original construction drawings called for rolled slate roofing, the roof was changed to flat white concrete tile in 1955, and later changed to 3-tab asphalt shingles in the 1990’s. The request is now to change to Gulf Coast Supply, Gulf-Lok 16” Wide Aluminum Roof Panels, in a white color.

I look forward to receiving your suggestions, and to working with you in the future.

Best wishes,

Aimee N. Sunny
Preservation Planning Coordinator
City of Lake Worth
1900 Second Avenue North

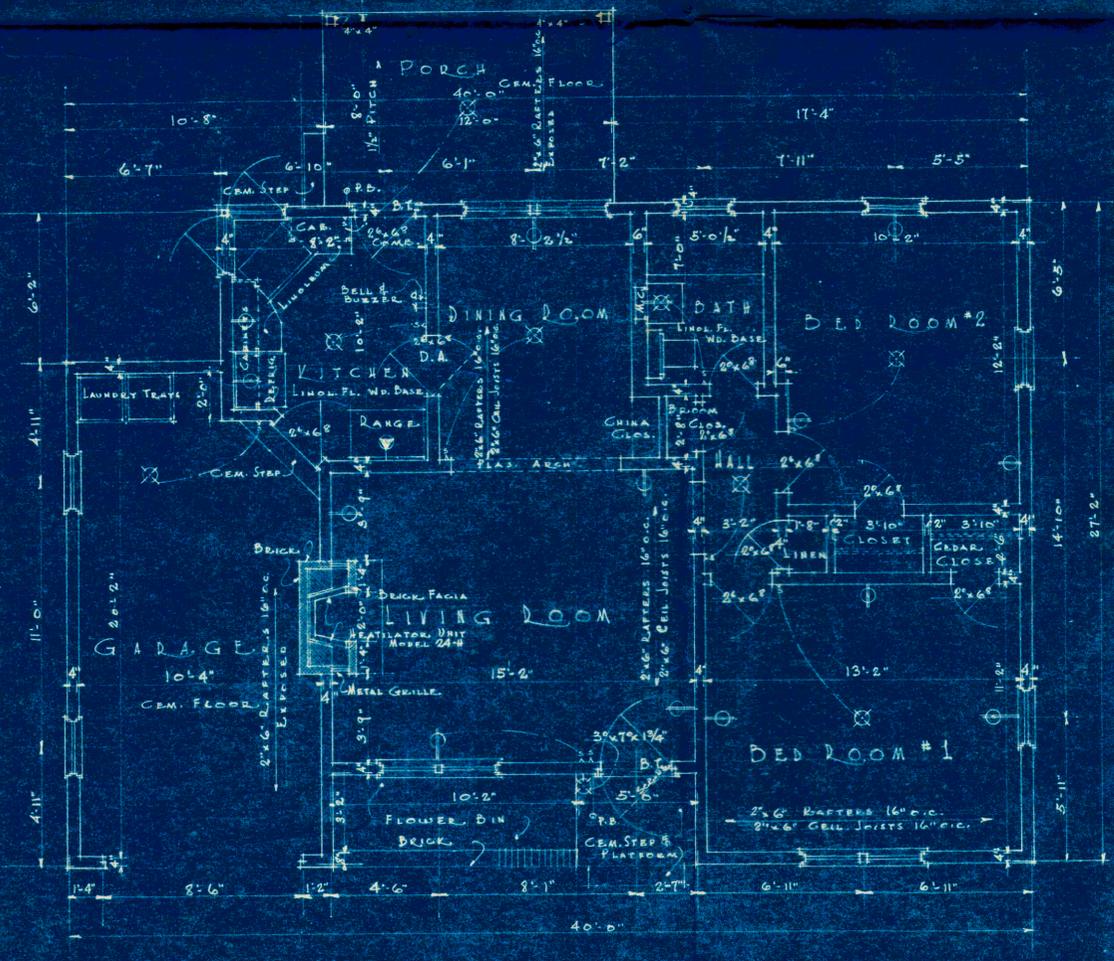
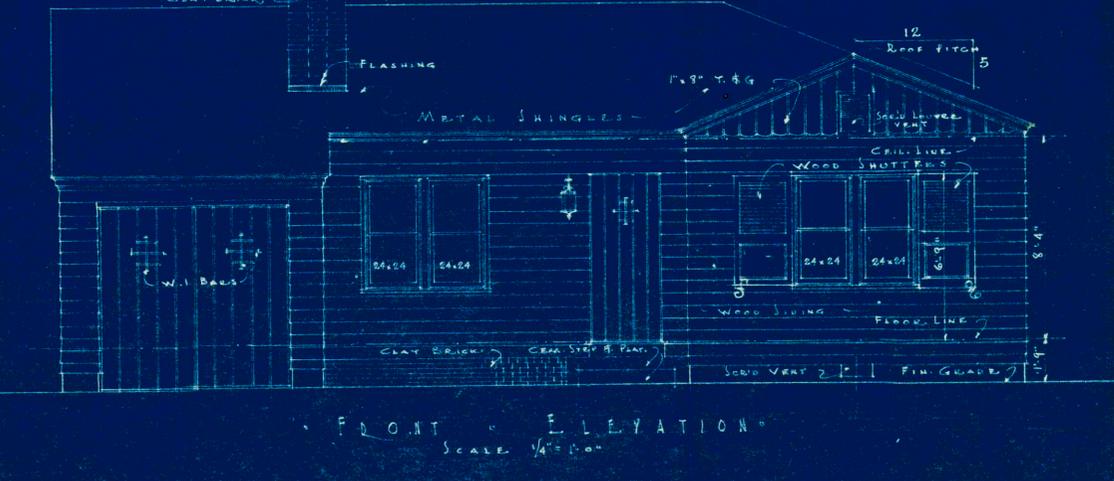
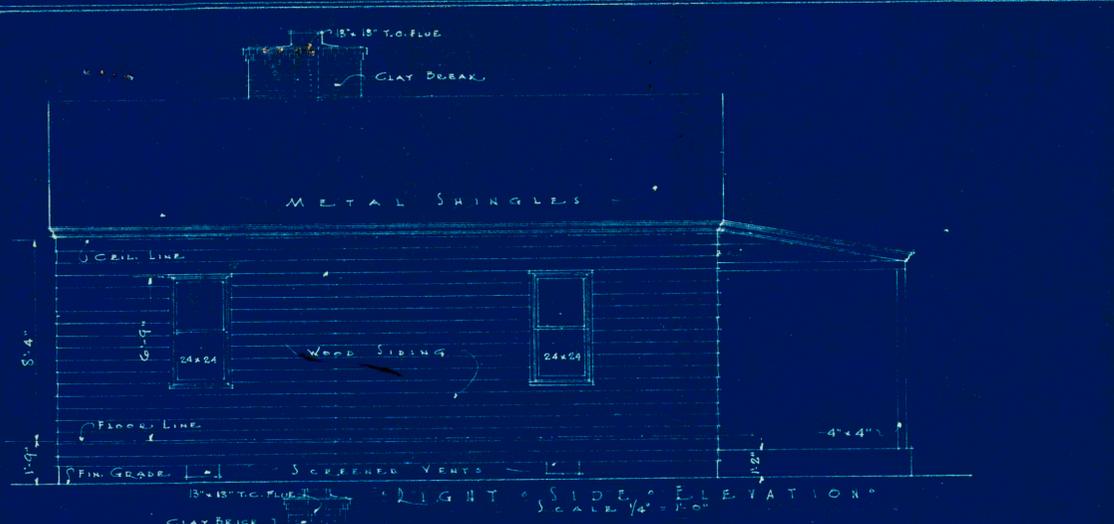
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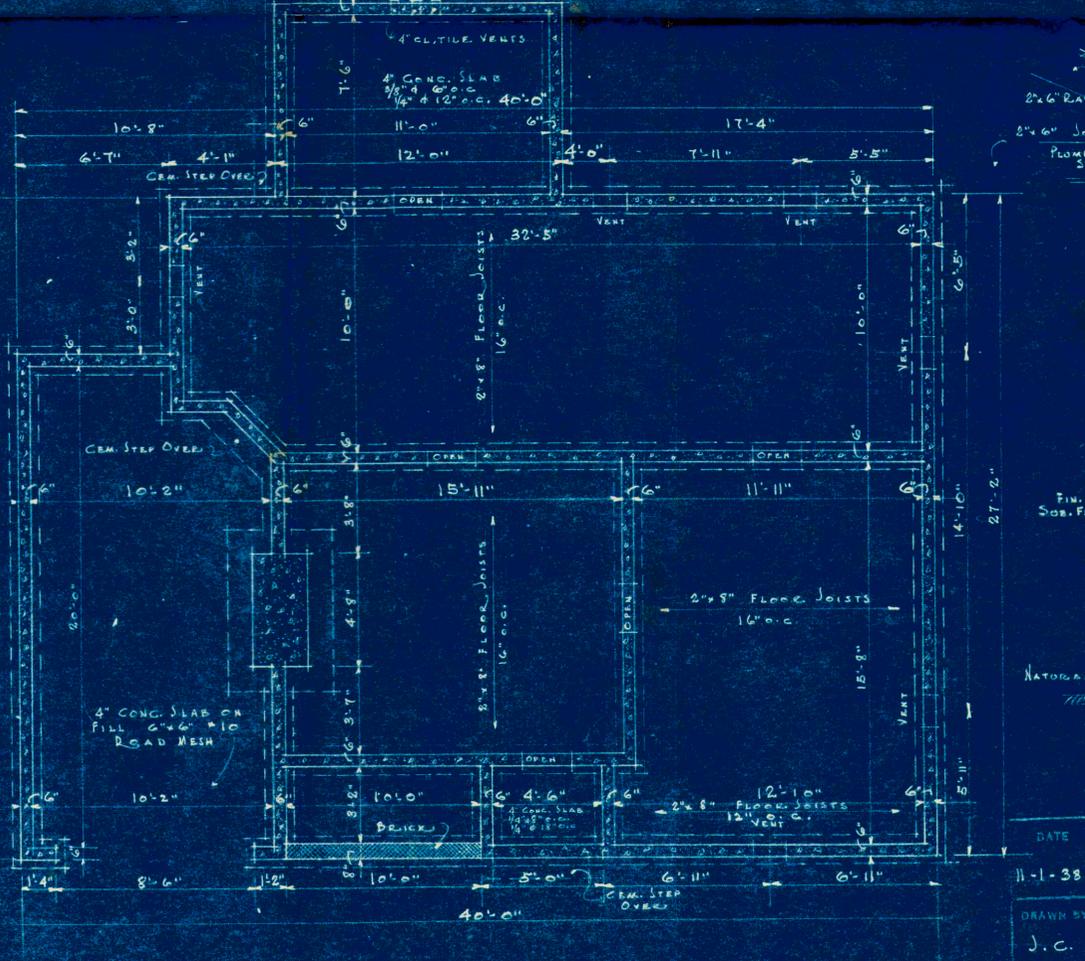
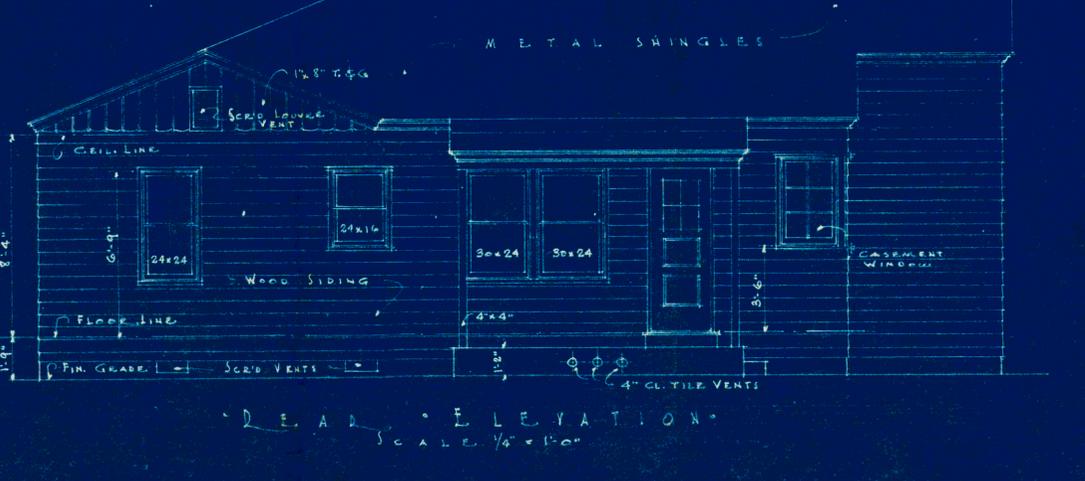
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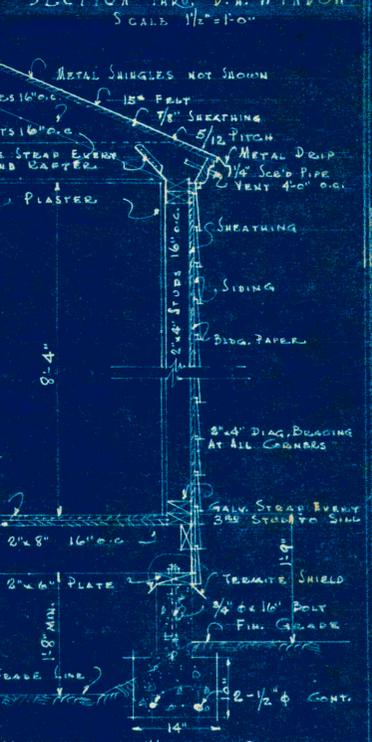
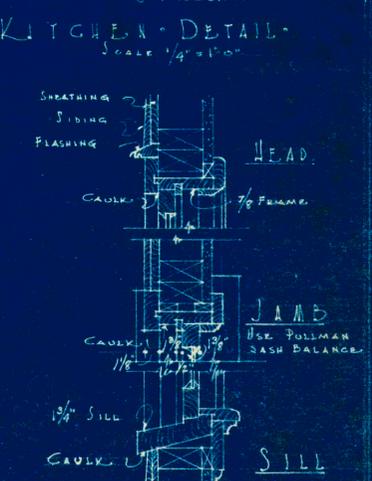
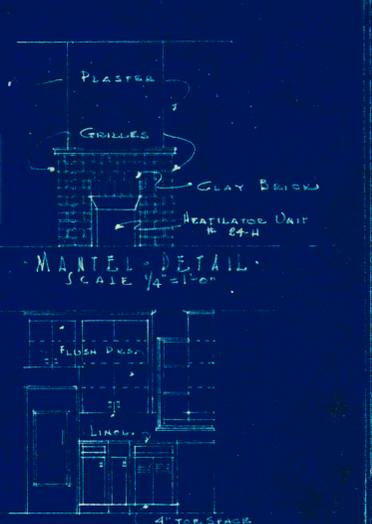
The Department of State is committed to excellence.
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FLOOR PLAN
Scale 1/4" = 1'-0"



FOUNDATION PLAN
Scale 1/4" = 1'-0"



TYPICAL WALL SECTION
Scale 3/4" = 1'-0"

DATE	DESIGNED FOR	COMP. NO.
11-1-33	L.G. LINNAR & SON LAKE WORTH, FLORIDA	
DRAWN BY	PHINEAS E. PAIST, A.I.A.	1067
J.C.	HAROLD D. STEWARD ARCHT. - 78	DRAWING NO.
CHECKED	INGRAHAM BLDG., MIAMI	1
	TITLE	ISSUED
		REVISED

Permit No. 5241
 Plan No. _____
 Zone a
 Fire Limit unli

Bureau of Building Inspection

CITY OF LAKE WORTH

Application for Erection of Buildings

Application is hereby made to the Bureau of Building Inspection of the City of Lake Worth, for the approval of plans, in duplicate, herewith submitted including plot plan, for the erection of the building or buildings herein described. All provisions of the Building and Zoning Laws and Ordinances shall be complied with in the erection of said building or buildings, whether specified herein or not.

(Sign here) Poland Underwood

Lake Worth, Florida Dec 21, 1938

DETAILED STATEMENT OF SPECIFICATIONS FOR THE ERECTION OF NEW BUILDINGS.

State buildings to be erected hang No. of stories one

Location of Bldg. 220 N P St Lot 5 Block 164 Addn _____

Occupancy _____ No. of rooms 6

Size of Lot: No. of feet frontage 50 Feet rear 50 Depth 130

Size of Bldg: 27x40 Feet Frontage 40 Feet rear 80 Depth 30

Build. set back: front 30 Sides 5 Rear 20

No. of feet in height from surface of ground to highest point of roof 14

Height of 1st story 8 2d _____ 3d _____ 4th _____

Size of foundation: Footing 8x4 Wall 8

Material for foundation Concrete

Thickness of external walls: 1st story 6 2nd _____ 3d _____ 4th _____

Size of girder or beam 2x6 set on Concrete

Construction of chimneys Brick with liners

With what materials walls to be coped _____

Will roof be flat, pitched, or mansard? Pitched Material of roofing Metal

Size of joist or beams: 1st floor 2x8 2nd _____ 3d _____ 4th _____

Centers 14

Ceiling joist 2x6 Rafters 2x6 Centers 14-24

Size of studding 2x4 Centers 14

Will there be any projection beyond building line?

Have you complied with State Workmen's Compensation Requirements? Yes

Cost of building 3750

Remarks _____

Owner L. H. Zimmerman & Son Address _____

Contractor Poland Underwood Address _____

Work was commenced on the within building on the _____ day of _____, 19____, and completed on the _____ day of _____, 19____.

Respectfully,

 Inspector.

I N D E X

General Conditions-----	1.
Excavation-Concrete-Masonry-----	2, 3.
Millwork & Carpentry-----	4, 5.
Lathing & Plastering-----	6.
Painting-----	6.
Roofing & Sheet Metal-----	7.
Electric Work-----	8.
Plumbing-----	9, 10.

R E S I D E N C E

F O R

L. G. LINMAN AND SON
LAKE WORTH, FLORIDA

PAIST & STEWARD

Architects

1136 Ingraham Building
Miami, Florida

GENERAL CONDITIONS

- General Conditions** The General Conditions of the American Institute of Architects apply to this building as though copied herein in full and copy of same may be had upon application to the Architect.
- Right to Reject Bids** The Owner reserves the right to reject any or all bids as well as sub-contractors. A list of proposed sub-contractors shall be submitted with the bid.
- Examination of Premises** The Contractor shall carefully examine the premises as no allowance will be made for lack of full knowledge of all conditions except underground which are indeterminate.
- Laying out Work** The Contractor shall assume responsibility for damage sustained by Owner due to incorrect location of the building or laying out of the work.
- Windstorm Insurance** The Owner shall effect and maintain windstorm insurance as well as fire insurance as called for in Article 29.
- Defective or Improper Work** Any work or materials not acceptable to the Architect must be removed by the Contractor and replaced by approved materials or work without extra compensation.
- Ordinances and Regulations** All requirements of the Federal Housing Administration as well as all requirements of local and state ordinances and regulations relating to buildings shall be observed by all contractors.
- Permits** The General Contractor shall secure and pay for general building permits. Special permits shall be taken out and paid for by the Contractor of such work.
- Guarantee** The Contractor shall be responsible and shall make good any defects due to faults in labor or materials, which may arise or be discovered within one year after completion of the work and its acceptance by the Architect.

EXCAVATION - CONCRETE - MASONRY

Removal
of Earth

The excavations shall be cut to sufficient size and depth to allow for foundations, form work and the installation of all other work to the best advantage. Excavation for soil, water, underground conduit, etc. shall be done by the respective trades.

Grading of any surplus soil shall be done as indicated on the drawings as grading up to the walls of the building. Contractor is to furnish any additional soil required for terraces or slabs on fill after soil from excavations has been used up for that purpose.

Reinforcing
Steel

Reinforcing steel for concrete shall be intermediate grade conforming to specifications of the American Society for Testing Materials.

Concrete

Reinforced concrete shall be in proportion of one part cement to six parts fine and coarse aggregates. In proportioning materials one bag of cement weighing approximately 94 pounds shall be considered as one cubic foot.

Usually fine and coarse aggregate is to be proportioned to a ratio of 2-1/2 parts fine to 3-1/2 parts coarse, but same may be varied by the Architect to secure a smooth working mixture. In no case will more than eight gallons of water to each bag of cement be used and same may be reduced where aggregate is wet. Designed strength for concrete shall be a minimum of 2500 lbs.

Brick

All brick for trim shall be old brick as approved by the Architect. Chimney shall be constructed of Common or Cement brick above throat. Flue to be 15 x 15 T.C. flue lining full length.

Heatilator

Provide and install a Heatilator in Fireplace opening, of size indicated, complete with intake and exhaust grills.

Topping

Finish topping for steps and slabs shall be not less than 3/4" thickness, troweled hard and smooth. Mix for topping shall be one part cement to two and one-half parts fresh water sand, except where an imitation stone is specified; same shall be composed of 1/2 white cement 1/2 gray and two parts white sand, floated as directed by Architect.

Forms

Wood forms for the concrete work shall be built strongly and rigidly to support load of concrete without deflections. Forms shall be built straight and true and to size required.

Paving

Garage floor and ribbons shall be cement finish on concrete slab as specified below.

Slab

Slab shall be four inches thick where called for, reinforced with 6-6-10-10 galvanized road mesh and waterproofed with Sec #1 per manufacturer's specification. Slab laid over tamped and soaked fill.

MILLWORK & CARPENTRY

- General** General Contractor shall maintain a competent superintendent or foreman on the job from start to finish and such foreman shall be responsible for the determination of lines and levels, maintaining street barricades, lanterns, scaffolds, etc. necessary for the safety of the workmen and the public.
- Rough Stock & Framing Lumber** Framing lumber shall be #2 or better short leaf pine, thoroughly seasoned, mill sawn to full dimensions and free from sap, shakes, large and unsound knots and all other defects impairing its strength.
- Treating of Lumber** Exterior millwork all sides of exterior door and window frames and all wood in contact with masonry shall be treated with two brush coats of Cel-cur-sol.
- Vents** Roof vents to be 1-1/2" galvanized pipe or sleeves 24" o.c. placed around entire eaves of house. Proper access doors shall be placed to attic. Louvre vents where shown shall be constructed of wood with a hopper back and shall have 18 mesh bronze screen. Provide storm shutters for louvre vents which may be easily installed.
- Roof & Wall Sheathing** All sheathing shall be #2 Common Fine Stock sheathing laid at right angles to supports 12" o.c. with butt joints over same. Exterior wall sheathing shall be 1 x 6 12" o.c. laid at an angle of 45 degrees. Cover sheathing of walls with 30# rag felt securely cap nailed in place and extend same around door and window frames as directed.
- Siding** Exterior siding shall be #1 Cypress 10" bevelled laid 8" to the weather. Siding shall be 1-3/8" stock resawed as directed. The interior walls of garage to have 8" "V" jointed cypress boards laid horizontal.
- Windows** Windows shall be double hung 1-3/8" sash, white pine with Pullman sash balancers. Glass to be set in full bed of putty.
- Millwork** Construct and fit neatly in place, securely, all cabinets, cases, shelves, rods, etc. indicated on the drawings.
- Bedroom closets shall have one shelf and a garment pole. Linen closet to be fitted with five shelves.

Kitchen dressers shall be to detail with flush panel Fir doors. Counter tops, back and ends shall be standard grade linoleum with chromium edging.

All exterior doors to be of ClearCypress. Interior doors to be stock 1-3/8" single panel doors. Trim to be plaster mould stock #1 Cypress.

- Glazing All glazing shall be with D.S.B. glass set with wood steps in putty in glass doors and with putty in wood sash.
- Grounds Carpenter shall set grounds where required.
- Ceilings Ceiling. Porch shall be Select #2 Cypress; boards shall be T & G "V" joints.
- Floors All floors except where indicated otherwise shall be select Red Oak sanded and given two coats varnish. Kitchen and bathroom floors to be standard grade linoleum set over felt and mastic.
- Hardware Contractor shall furnish and install rough hardware such as bolts, anchors, straps, etc.
- Finish Hardware An allowance of Fifty (\$50.00) Dollars shall be made for finish hardware.
- Weather-stripping Exterior doors where shown shall have 2-1/2" bronze inter-locking threshold with spring bronze inter-locking feature.
- Screens All exterior doors shall have screens of 18 mesh bronze screen. Thickness shall be 1-1/8".
- Medicine Cabinet Allowance shall be made of Eight (\$8.00) Dollars for medicine cabinet.
- Cedar Closet Closet where shown to be lined, walls and ceiling, with 3/8" T & G Red Cedar.
- Shutters Shutters where shown are #2 Cypress. All other windows shall be fitted with wood or prestwood shutters.
SHUTTERS SHALL BE BATTEN TYPE.

GARAGE

GARAGE INTERIOR TO BE FINISHED WITH FIR PLYWOOD.

LATHING AND PLASTERING

General

No lathing shall be done until building is acceptable to the plasterer and until electrician and plumber have had their rough installations inspected and approved by their inspectors.

No finish plaster to be applied until roof is complete.

Application of plaster is to be in two coat job, scratch, and finish, with finish in texture of trowel and brush, fairly smooth, and according to approved sample. Finish in bath and kitchen to be troweled smooth and hard. Plaster shall not show scaffold marks or other discoloration.

Lath shall be first quality Cypress, thoroughly seasoned and dry and lath shall be securely nailed, reinforced at angles and corners with six inch Clinton wire lath strips nailed on with galvanized nails.

PAINTING

General

Painter shall inspect the work of others before commencing his work and shall report any defective work which will give him unsatisfactory results and commencing work indicates acceptance of work of others.

Exterior Woodwork & Metal

All exterior woodwork and metal except copper to be painted with two coats of lead and oil Sherwin Williams or equal in addition to priming coat, which on metal shall be aluminum metal primer.

Interior Woodwork

Interior woodwork including base, trim, interior and exterior of cabinets, etc. to be painted two coats lead and oil in addition to priming coat of colors selected. Third coat in one bath and kitchen to be enamel. Putty fill cracks between woodwork and plaster.

Plaster

Plaster will not be painted.

ROOFING & SHEET METAL WORK

Metal
Shingles

All roofs to be covered with interlocking galvanized metal shingles of approved make. All to be laid according to manufacturer's instructions. 15 LB. FELT UNDER THIS ROOF.

Flashing

All flashing including 14" valley flashing and drip strip shall be 16 oz. copper.

ELECTRIC WORK

General

The complete electrical installation shall conform with all the rules and regulations of the National Board of Fire Underwriters specified in the latest edition of the Code, the local rules of the Florida Power & Light Co. and the Southern Bell Telephone Co; and the requirements of the Inspector.

Architect will furnish information regarding the location of the service pole and note that meter and service installation shall conform with the recent requirements of the Power Company.

Materials

Duplex receptacles and switch outlets may be four inch or Gem D. Provide plaster rings and all ceiling and bracket outlets with no bolt fixture studs.

Covers and switch plates to be bakelite, cover plates, switches to be toggle type and gange switches where more than one occurs.

Service & Metering

Light and Power service shall be overhead from nearest pole. Master switch and distributing panel shall be flush mounted in neat manner.

Provide meter loop and conduit connection to panels and furnish one spare fuse gap and complete set of fuses. Power to consist of one two pole 60 amp gap for range, one 30 amp. gap for refrigerator and one 30 amp gap for heater.

Overhead service to be three wire 110/220 volt and wire shall be rubber covered cable.

Label clearly and neatly all circuits at panel. Ground all equipment properly in accordance with requirements.

~~SHALL BE Rmx.~~

~~Wiring on exterior walls shall be run in hot dip galvanized steel tubing. Under fill or outside shall be conduit.~~

Fixtures

Fixtures shall be furnished by Owner and installed by this contractor.

Buzzer

Provide push button from front and rear door with buzzer and bell in kitchen.

PLUMBING

General

The Plumbing installation shall be in accordance with the requirements of the Inspector and Code of the City and certificates of approval shall be obtained as required.

Sanitary system shall be connected with septic tank supplied by this Contractor according to Code.

All piping for sanitary system within the building walls to be cast iron. Cold water piping shall be run with C.I. This contractor shall run water service to meter. Meter and tap to be supplied by Owner.

Sanitary

The connections in cast iron shall be made up with picked oakum and lead. Vent piping to be graded to free itself of condensation and rain water and horizontal soil lines to be graded not less than 1/4" to foot.

Lead bends and wastes shall be covered with bronze screen spot soldered.

Vents through roof to be flashed with lead.

Fixtures

Bath (In White)

C-3308 5' Corwith Bath
C-3866-B C.P. Bath and shower fixture
C-35581-N C.P. Waste
C-4962-B 1 x 62" C.P. Rod.

Closet (In White)

C-11125-JA Neuton bowl with shelf
C-13580 Neumode Tank
C-9010 White Sheet covered seat
C-14484 Floor flange
C-14510 China bolt caps
C-32589 C.P. supply valve

Lavatory

C-2500 17 x 19" Neuday lavatory
C-32165 C.P. Supply and waste fixture
C-38A-235 C.P. supplies
C-33980 1-1/4" C.P. P Trap

Toilet Room

Closet:

C-1125-JA Neuton as above.

Kitchen (In White)

C-19350-X 20 x 24" A.R. sink
C-32751-AS C.P. faucet
C-33980 1-1/2" C.P. Trap
C-19770 C.P. Utility Waste

Laundry Trays

C-21294-B two part cement Laundry tray on frame

C-31746-S Rough W.P. Laundry faucet $1\frac{1}{8}$ " lead P. trap

The home currently has a metal shingle tile roof. The roof proposed by the homeowner is a standing seam metal roof.

THE STANDING SEAM METAL ROOF IS IN KEEPING WITH THE CHARACTER OF THE HOUSE AND THE NEIGHBORHOOD

* The standing seam metal roof is consistent with the historic nature of the house. The home is a 1941 frame vernacular which the Model Guidelines for Design Review (Florida Department of State) describes as having "metal roofs, including ornamental metal roofs". The standing seam consists of metal panels which run from the ridge of the roof to the eaves connected by raised fasteners (seams). According to the Design Guidelines for Old Town Historic District and Major Thoroughfares, "metal standing seam or shingle roofs are appropriate to the frame vernacular building style". There is no evidence that the specific roof proposed by the Preservation Planning Coordinator is a necessary component of a frame vernacular structure.

* The standing seam roof is in keeping with the character of the neighborhood. Comparable homes in the neighborhood have standing seam roofs as well as roofs which are inferior to the proposed standing seam roof (5v crimp, shingle, etc). (See photographs of comparable contributing homes provided.)

THE ROOF PROPOSED BY THE PRESERVATION PLANNING COORDINATOR WILL PLACE AN UNREASONABLE FINANCIAL BURDEN ON THE HOMEOWNER

* Roof replacement is not required at this time. Though the current roof is aging and in poor condition, it is still functional. However, the homeowner wishes to improve the present condition of the house by installing a new roof.

* The homeowner is not proposing the least expensive available roof. To the contrary, the homeowner is willing to pay a greater cost to elevate the value of the home and contribute to the character of the neighborhood by installing a standing seam metal roof.

* The roof proposed by the Preservation Planning Coordinator is considerably more expensive than the standing seam roof. The expense of the installation and materials of the Planning Coordinator's proposed roof creates an unreasonable financial burden on the homeowner.

* The homeowner has contracted with Brodbeck roofing company and Mr. Brodbeck based upon his over 30 years of experience and reputation in local roof installation.

The proposed roof is compatible with the architectural style of the home and will not adversely affect the historic integrity of the original structure.

NORTH LAKESIDE

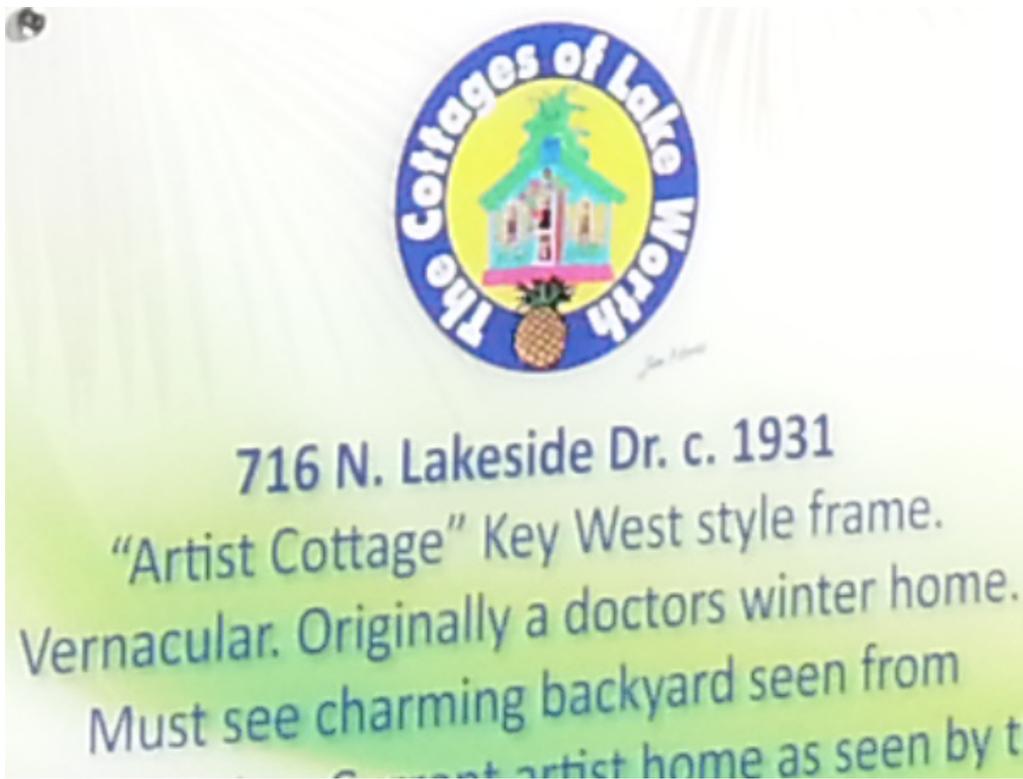
230 N Lakeside (contributing)



716 N Lakeside (contributing)



NORTH LAKESIDE



821 N Lakeside (contributing)



NORTH LAKESIDE

NORTH O STREET

418 N O Street (contributing)



510 N O Street (contributing)



NORTH O STREET



514 N O Street (contributing)



NORTH O STREET

521 N O Street (contributing)



NORTH O STREET CONTINUED

526 N O Street (contributing)



604 N O Street (contributing)



NORTH O STREET CONTINUED



611 N O Street (contributing)



621 N O Street (contributing)

NORTH O STREET CONTINUED



NORTH PALMWAY

109 N Palmway (Contributing)



222 N Palmway Below (Contributing)



NORTH PALMWAY

206 N Palmway (contributing)



214 N Palmway (contibuting)



NORTH PALMWAY



230 N Palmway (contributing)



NORTH PALMWAY



302 N Palmway (contributing)



NORTH PALMWAY

411 N Palmway (contributing)



428 N Palmway(contributing)



NORTH PALMWAY

722 N Palmway(contributing)



826 N Palmway (on your January agenda and reportedly, previous to this metal roof, had a metal shingle roof) (contributing)



NORTH PALMWAY

524 N Palmway (my neighbor to the north) (contributing)



514 N Palmway (My neighbor to the south)



close up

NORTH PALMWAY

515 N Palmway (contributing)



Across the street from me: 527 N Palmway (contributing)



NORTH PALMWAY

525 And 527 N Palmway (across the street from my house and both contributing)



525 N Palmway and on the January agenda. Reportedly had a metal shingle roof prior to the current metal roof(contributing)



509 N Palmway (contributing)



Proposal

W. E. BRODBECK ROOFING COMPANY, INC.

601 Industrial Street
LAKE WORTH, FL 33461
(561) 582-0449

PROPOSAL SUBMITTED TO Dana McLaughlin		PHONE 628-2160	DATE 12-8-15
STREET 520 N Palmway		JOB NAME	
CITY, STATE and ZIP CODE Lake Worth, FL. 33460		JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE	

We hereby submit specifications and estimates for:

Labor and material to remove slope and flat roofs down to sheathing and renail to new codes. Reroof slope with a 30pd felt tin tagged on, install 26 gaugh galvalume Berridge dripedge, valley metal and base flashings where needed. Finish with mill finish 26 gauge Berridge Victorian style shingle. Install slip sheet in between panels and 30pd felt. Install collars around pipe penetrations. Reroof flatdeck with a 75pd base tin tagged, mop 2plys glass in hot asphalt. Install 3x3 galvalume dripedge around eaves and 16" in break. Prime all metal with asphalt primer. Finish with a white granulated modified in hot asphalt. Replace up to 100 linear ft of 1x sheathing. Permits included.

\$ 14,960.00

Labor and material for woodwork over amount stated above will be

\$2.75 a linear ft. We will remove the debris.

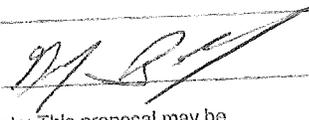
We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of: _____ dollars (\$ _____).

Payment to be made as follows:

50% at start Balance upon completion.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tomado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature



Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____



BRANCH:
 400 RINKER WAY
 LAKE WORTH FL
 33461-3817

(561)585-4999

Superior Service - Quality Products - On-Time Delivery - Brands You Want
 This Quotation is subject to the Terms and Conditions set forth on the reverse side. This Quotation is NOT VALID for purchases made beyond thirty (30) days of issuance unless signed by an officer or branch manager of ABC Supply, in addition to the signature of an ABC Supply salesman or other ABC Supply representative.

QUOTATION

CUSTOMER:
 W E BRODBECK RFG CO INC
 601 INDUSTRIAL ST
 LAKE WORTH FL
 33461-3892

SHIP TO:
 BERRIDGE SHINGLE

QUOTE NO.		CUSTOMER ORDER NO.		SHIP VIA	CUSTOMER NO.	TERMS	QUOTE DATE	EXP. DATE	SLS#	OT#	PAGE
1759728				CPU	26703100	1% 10TH NET EOM	2/04/16	3/05/16		SLM	1
ITEM NUMBER	ITEM DESCRIPTION	U/M	T/D	QUANTITY	UNIT PRICE	EXTENDED PRICE					
99MIABC	QUOTE FROM: ABC #048 LAKE WORTH MISCELLANEOUS GOODS	EA		1	4130.00	4130.00					
99MIABC	BERRIDGE SHINGLES 14 SQ MISCELLANEOUS GOODS	EA		1	1084.08	1084.08					
99MIABC	BERRIDGE TRIM PACKAGE MISCELLANEOUS GOODS	EA		1	246.00	246.00					
78ANCOS042	SCREWS & SEALANT FREIGHT/PACKAGING	EA			1350.00	1350.00					
						SUBTOTAL		6810.08			
Salesman or other ABC Supply Representative _____						FREIGHT		.00			
Title: _____						EST. SALES TAX		408.60			
Duration: _____						QUOTE TOTAL (U.S.)		7218.68			

QUOTE ONLY

**W. E. BRODBECK
ROOFING COMPANY, INC.**
601 Industrial Street
LAKE WORTH, FL 33461
(561) 582-0449

PROPOSAL SUBMITTED TO Dana McLaughlin	PHONE 628-2160	DATE 11-15-15
STREET 520 N Palmway	JOB NAME	
CITY, STATE and ZIP CODE Lake Worth, FL 33460	JOB LOCATION	
ARCHITECT	DATE OF PLANS	JOB PHONE

We hereby submit specifications and estimates for:

Labor and material to remove slope and flat roofs down to sheathing and renail to new codes. Reroof slope with a 30pd felt tin tagged on, install 26 gauge galvalume dripedge around eaves white metal in valleys and base flashing where needed. Finish with mill finish 5v crimp or snap lock standing seam panels. Install slip sheet in between panels and 30pd felt, install collars around pipe penetrations. Reroof flatdeck with a 75pd base tin tagged, mop 2 plys glass in hot asphalt. Install 3x3 galvalume dripedge around eaves and 16" in break. Prime all metal with asphalt primer. Finish with a white granulated modified in hot asphalt. Replace up to 100 linear ft of 1x sheeting. Permits included. 5v crimp \$8,250.00
Standing Seam \$8,875.00

Labor and material for woodwork over amount stated above will be \$2.75 a linear ft. We will remove the debris.

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of: _____ dollars (\$ _____).

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature 

Note: This proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature 

Signature _____



BRANCH:
 400 RINKER WAY
 LAKE WORTH FL
 33461-3817

(561)585-4999

Superior Service - Quality Products - On-Time Delivery - Brands You Want

This Quotation is subject to the Terms and Conditions set forth on the reverse side. This Quotation is NOT VALID for purchases made beyond thirty (30) days of issuance unless signed by an officer or branch manager of ABC Supply, in addition to the signature of an ABC Supply salesman or other ABC Supply representative.

QUOTATION

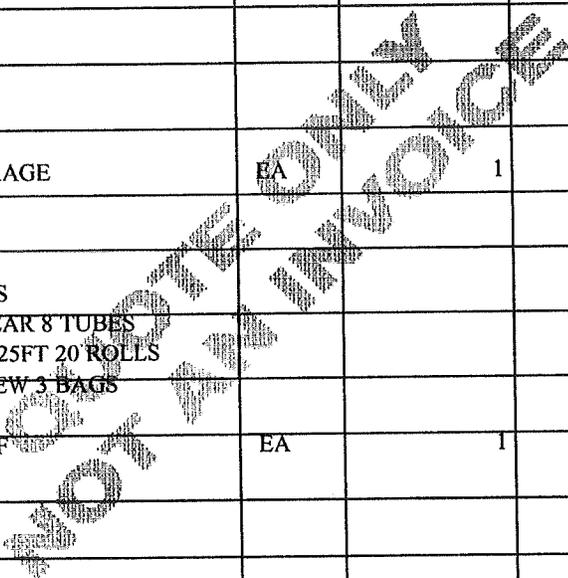
CUSTOMER:

W E BRODBECK RFG CO INC
 601 INDUSTRIAL ST
 LAKE WORTH FL
 33461-3892

SHIP TO:

SLS#	OT#	PAGE
		1

QUOTE NO.	CUSTOMER ORDER NO.	SHIP VIA	CUSTOMER NO.	TERMS	QUOTE DATE	EXP. DATE
1760249	W.E. BRODBECK RFG	CPU	26703100	1% 10TH NET EOM	2/05/16	3/06/16
ITEM NUMBER	ITEM DESCRIPTION	U/M T/D	QUANTITY	UNIT PRICE	EXTENDED PRICE	
*****	CHANGE ORDER TYPE: QUOTE FROM 048	#01	QUOTE EDIT 1/24/16			
78MSSO5236	MS IMAGE II PANELS LF 11" RIDGE 26GA 6PCS RES EXT EAVE 26GA 8PCS EW PITCH BREAK 1PC W VALLEY 3PCS RES IMAGE II RAKE 10PCS S/W PITCH BREAK 90 DEG 2PCS	EA	1	406.84		406.84
78MSSO0436	MS ACCESSORIES PACKAGE OFFSET CLEAT 26PCS IMAGE II Z CLOSURE 25PCS COUNTER FLASH 2PCS 1/8"X3/16" POP RIVET S/S 2 BAGS TITE BOND TUBE SEALANT CLEAR 8 TUBES DOUBLE BEAD TAPE SEALANT 25FT 20 ROLLS #10-12X1" PANCAKE HEAD SCREW 3 BAGS HEMMING TOOL	EA	1	499.48		499.48
78MSSO5236	MS IMAGE II PANELS LF	EA	1	1034.66		1034.66



SUBTOTAL	1940.98
FREIGHT	50.00
EST. SALES TAX	116.46
QUOTE TOTAL (U.S.)	2107.44

Salesman or other ABC Supply Representative
 Title: _____

Branch Manager or ABC Supply Officer
 Title: _____
 Duration: _____



BUILDING DIVISION
 DEPARTMENT FOR COMMUNITY SUSTAINABILITY
 CITY OF LAKE WORTH
 1900 2ND AVENUE NORTH
 LAKE WORTH, FL 33461
 561.586.1647

ROOF / REROOF CHECKLIST

Address: 520 N Palmetto

Date: 12-9-15

PR Number: _____

Use of Building:

- 1 or 2 Family Dwelling Multi-Family (3 or More Units) Non-Residential

Exposure Category: C

Existing Roof Material: metal

Roof Type: New Roof Re-Roofing Recovering Repair ___ % Roof / Section

Roof Slope: 4 / 12 Deck Type: wood Roof Height: 10' Ft.

Proposed Roof Covering: (Check all that apply to this permit application)

- Flat Roof Mechanically Fastened Tile Mortar / Foam Set Tile
 Asphalt Shingles Metal Panel / Shingle Wood Shakes / Shingles
 Other: _____

Slope of Roofing Work by Area: (Complete all that apply)

Flat Roofs Up to (17%) ≤ 2" / 12" 24 sf

Slope Roofs (18%) > 2.5" / 12" 124 sf

Is Enhanced Nailing Required Per NOA: Yes No

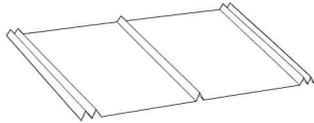
CERTIFICATION:

Gregory Breakey
 Qualifier Name (Print)

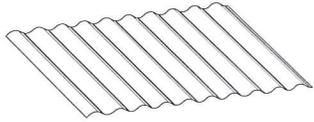
[Signature]
 Signature

12-9-15
 Date

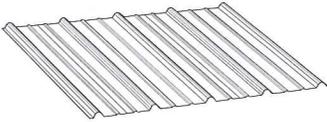
SemCoat SP - 40 Year Warranty



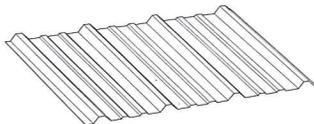
5V CRIMP



CORRUGATED



SM-RIB

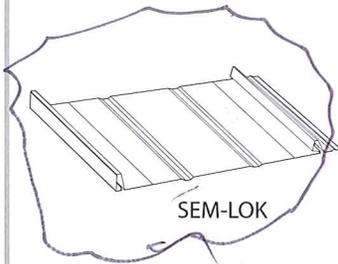


PBR & R

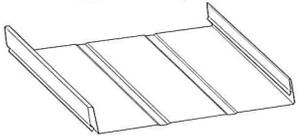
Our advanced Superl Paint System includes a 40 year warranty against chipping, cracking and peeling. Exhibits exceptional color retention and is formulated to meet or exceed Energy Star® requirements.

COLOR	5V CRIMP	CORRUGATED	SM-RIB	PBR & R
Barn Red	26	26	26/29	26/29
Bone White	26	26	29	29
Burnished Slate	26	26	26	26
Charcoal Gray	26	26	26/29	26/29
Cocoa Brown	26	26	29	29
Forest Green	26	26	26/29	26/29
Hawaiian Blue	26	26	26/29	26/29
Light Stone	26	26	26/29	26/29
Marine Green	26	26	-	-
Mocha Tan	26	26	26/29	26/29
Old Town Gray	26	26	26/29	26/29
Reflective White	26	26	26	26

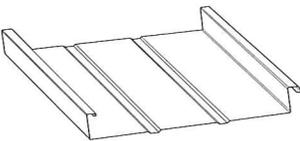
SemCoat Plus - 45 Year Warranty



SEM-LOK



VERTI-LOK



ROCK-LOK

Our premium Kynar Paint system includes a 45 year warranty against chipping, cracking, peeling and fading. Exhibits superior color retention and performs in a wide range of harsh environments.

COLOR	SEM-LOK	VERTI-LOK	ROCK-LOK	SM-RIB	PBR
Brick Red	24/26	24	24	24/26	24/26
Chamois Tan	26	24	24	26	26
Copper Penny	24/26	24	24	24/26	24/26
Hartford Green	24/26	24	24	24/26	24/26
Onyx Gray	24/26	24	24	24/26	24/26
Patina Green	26	24	24	26	26
Regal Blue	24/26	24	24	24/26	24/26
Regal White*	24/26	24	24	24/26	24/26
Silver Dollar	24/26	24	24	24/26	24/26
Slate Bronze	24/26	24	24	24/26	24/26
Slate Gray	24/26	24	24	24/26	24/26

* 24 Gauge 5V-Crimp and Corrugated panels also available in Regal White.

Customer Service

800.874.0335

Technical Support

800.690.7235

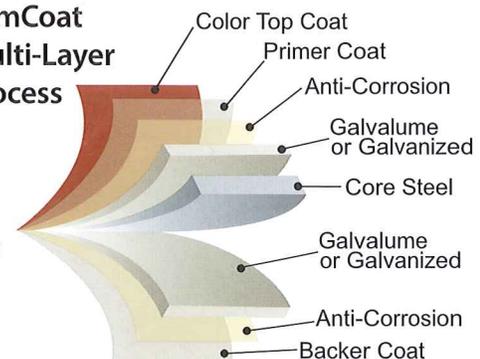


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SemCoat
Multi-Layer
Process





Metal Roofing Color Guide

11801 INDUSTRY DRIVE • JACKSONVILLE, FLORIDA 32218



SemCoat SP - 40 Year Warranty



Barn Red *
(SR).35 (TE).83 (SRI)36



Hawaiian Blue *
(SR).32 (TE).83 (SRI)32



Bone White *
(SR).55 (TE).83 (SRI)63



Light Stone *
(SR).55 (TE).83 (SRI)63



Burnished Slate *
(SR).25 (TE).83 (SRI)22



Marine Green *
(SR).32 (TE).83 (SRI)32



Charcoal Gray *
(SR).25 (TE).83 (SRI)22



Mocha Tan *
(SR).32 (TE).83 (SRI)32



Cocoa Brown *
(SR).25 (TE).83 (SRI)22



Old Town Gray *
(SR).35 (TE).83 (SRI)36



Forest Green *
(SR).25 (TE).83 (SRI)22



Reflective White *
(SR).55 (TE).83 (SRI)63

SemCoat Plus - 45 Year Warranty



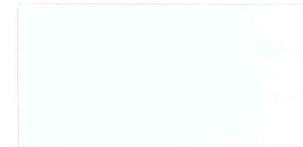
Brick Red *
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Regal Blue
(SR).25 (TE).85 (SRI)23



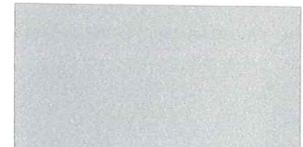
Chamois Tan †
(SR).45 (TE).83 (SRI)49



Regal White *
(SR).70 (TE).83 (SRI)84



Copper Penny *
(SR).35 (TE).75 (SRI)32



Silver Dollar *
(SR).47 (TE).84 (SRI)52



Hartford Green †
(SR).25 (TE).83 (SRI)22



Slate Bronze ††
(SR).25 (TE).83 (SRI)22



Onyx Gray ††
(SR).35 (TE).83 (SRI)36



Slate Gray ††
(SR).35 (TE).83 (SRI)36



Patina Green ††
(SR).32 (TE).83 (SRI)32



* Meets or exceeds Energy Star® requirements for:
Solar Reflectance (SR), Thermal Emittance (TE), Solar Reflectance Index (SRI)
† Energy Star®/Cool Color availability in 26 gauge
†† Cool Color availability varies by gauge

NOTE: Colors shown are for reference only. Limited by printing process and viewing conditions the colors are only a close approximation. Actual metal color samples are available upon request.



DEPARTMENT OF PERMITTING, ENVIRONMENT, AND REGULATORY AFFAIRS
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidade.gov/pera

NOTICE OF ACCEPTANCE (NOA)

Southeastern Metals Manufacturing Company, Inc.
11801 Industry Drive
Jacksonville, FL. 32218

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County PERA - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. PERA reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: SEM-Lok Snap Standing Seam Aluminum Roof Panels

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This NOA consists of pages 1 through 5.

The submitted documentation was reviewed by Alex Tigera.



NOA No.: 11-0714.07
Expiration Date: 08/30/17
Approval Date: 08/30/12
Page 1 of 5

ROOFING ASSEMBLY APPROVAL:

Category: Roofing
Sub-Category: Non-Structural Metal Roofing
Material: Aluminum
Deck Type: Wood
Maximum Design Pressure -120 psf

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
"SEM-Lok Snap-Lok Standing Seam"	l = various w = 16" min. 0.032" thick Yield Strength: Min. 22ksi	TAS 110 & TAS 125	Corrosion resistant, Kynar or SuperL II coated, pre-finished, standing seam aluminum panel.
SEM-Lok Cleat (CL-3)	l = various w = 1-3/8" h = 1"	TAS 125	Preformed, galvalume, metal cleat.
Trim Pieces	l = varies w = varies min. 0.0217" thick	TAS 110	Standard flashing and trim pieces. Manufactured for each panel width

MANUFACTURING LOCATION:

1. Jacksonville, FL.

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
PRI Construction Materials Technologies	SEM-013-02-02.4	TAS 125	01/19/11
Celotex Corporation Testing Services	520504	TAS 100	12/21/99



NOA No.: 11-0714.07
Expiration Date: 08/30/17
Approval Date: 08/30/12
Page 2 of 5

APPROVED ASSEMBLIES:

SYSTEM A-1: "Sem-Lok Snap-Lok Standing Seam" 0.032" Aluminum Panel

Deck Type: Wood, Non-insulated

Deck Description: 1 9/32" or greater plywood or wood plank.

Slope Range: 2": 12" or greater

Maximum Uplift

Pressure: See Table A Below

Deck Attachment: In accordance with applicable Building Code, but in no case shall it be less than #8d galvanized ring shank common nails spaced 6" o.c. around the perimeter and in the field. In reroofing, where the deck is less than 1 9/32" thick (Minimum 1 5/32"). The above attachment method must be in addition to existing attachment.

Underlayment: Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-laps and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or any approved underlayment having a current NOA.

Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Southeastern Metal Manufacturing Company, Inc's current published installation instructions.

Fire Barrier Board: Any approved fire barrier having a current NOA. Refer to a current fire directory listing for fire ratings of this roofing system assembly as well as the location of the fire barrier within the assembly. See Limitation # 1.

Metal Panels and Accessories: Install the "SEM-Lok Snap-Lok Panels" and accessories in compliance with Southeastern Metal Manufacturing Company, Inc's current published installation instructions and details. Flashing, penetrations, valley construction and other details shall be constructed in compliance with the minimum requirements provided in Roofing Application Standards RAS 133.

"SEM-Lok Panels" shall be installed through the prefabricated panel slop openings with a minimum #10 pancake wood screws of sufficient length (but not less than 1") to penetrate through the sheathing a minimum of 3/16" of an inch. Fasteners shall be spaced a maximum of 7" o.c. Place cleat over male rib before securing the panel with screws. See **Detail A** herein. For perimeter and corner conditions, place a 1/2" wide continuous bead of Liquid Nails® Heavy Duty Construction Adhesive to the top side of the cleat along the fastening line.

TABLE A		
Maximum Design Pressure		
	Field	Perimeter and Corner¹
Maximum Design Pressure	-63.75 psf	-120 psf
	With Cleat	With Cleat
	Without Adhesive	With Liquid Nails® Heavy Duty Construction Adhesive

1. Extrapolation shall not be allowed



SYSTEM LIMITATIONS

1. Fire classification is not part of this acceptance; refer to a current Approved Roofing Materials Directory for fire ratings of this product.
2. The maximum designed pressure listed herein shall be applicable to all roof pressure zones (i.e. field, perimeters, and corners). Neither rational analysis, nor extrapolation shall be permitted for enhanced fastening at enhanced pressure zones (i.e. perimeters, extended corners and corners).
3. Panels may be rolls formed in continuous lengths from eave to ridge. Maximum lengths shall be as described in Roofing Application Standard RAS 133
4. All panels shall be permanently labeled with the manufacturer's name and/or logo, and the following statement: "Miami-Dade County Product Control Approved" or with the Miami-Dade County Product Control Seal as seen below. All clips shall be permanently labeled with the manufacturer's name and/or logo, and/or model.



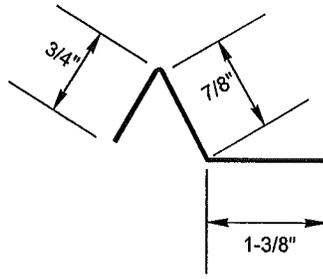
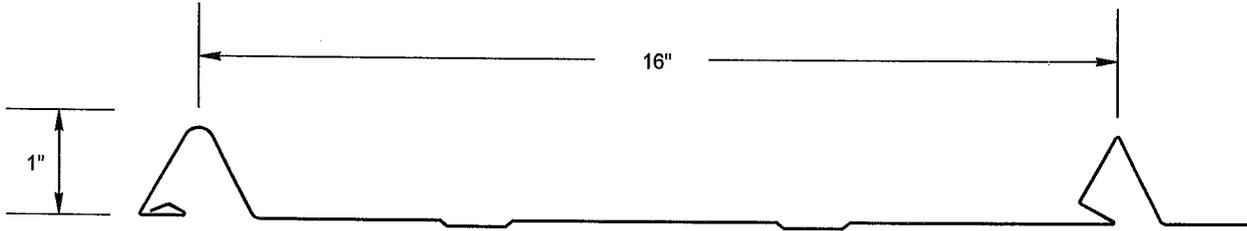
5. All products listed herein shall have a quality assurance audit in accordance with the Florida Building Code and Rule 9N-3 of the Florida Administrative Code.



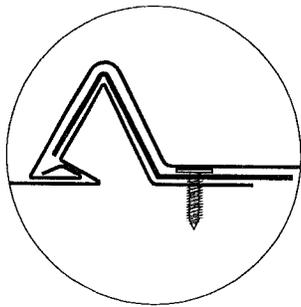
NOA No.: 11-0714.07
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**PROFILE DRAWINGS
DETAIL A**

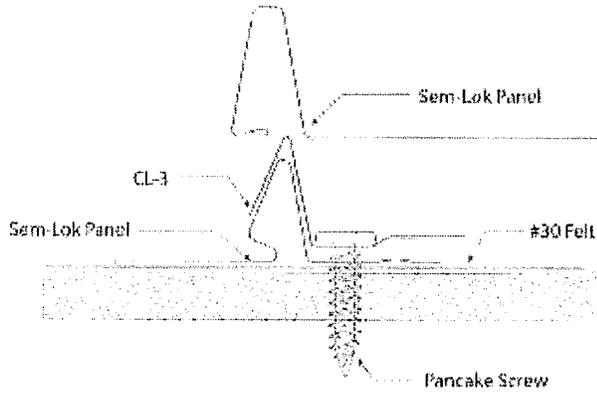
“SEM-LOK SNAP LOK STANDING SEAM” ALUMINUM ROOF PANELS



CLEAT DETAIL



WITH CLEAT



END OF THIS ACCEPTANCE



**NOA No.: 11-0714.07
Expiration Date: 08/30/17
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Page 5 of 5**

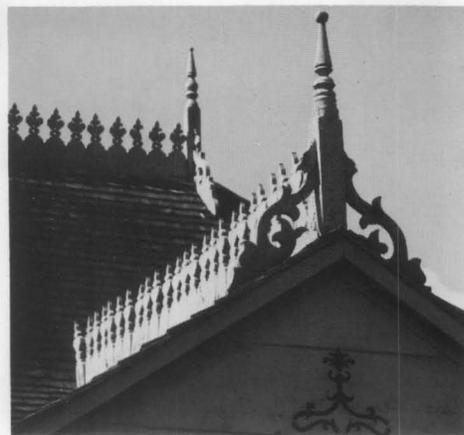
4 PRESERVATION BRIEFS

Roofing for Historic Buildings

Sarah M. Sweetser



U.S. Department of the Interior
National Park Service
Cultural Resources
Heritage Preservation Services



HABS

Significance of the Roof

A weather-tight roof is basic in the preservation of a structure, regardless of its age, size, or design. In the system that allows a building to work as a shelter, the roof sheds the rain, shades from the sun, and buffers the weather.

During some periods in the history of architecture, the roof imparts much of the architectural character. It defines the style and contributes to the building's aesthetics. The hipped roofs of Georgian architecture, the turrets of Queen Anne, the Mansard roofs, and the graceful slopes of the Shingle Style and Bungalow designs are examples of the use of roofing as a major design feature.

But no matter how decorative the patterning or how compelling the form, the roof is a highly vulnerable element of a shelter that will inevitably fail. A poor roof will permit the accelerated deterioration of historic building materials—masonry, wood, plaster, paint—and will cause general disintegration of the basic structure. Furthermore, there is an urgency involved in repairing a leaky roof since such repair costs will quickly become prohibitive. Although such action is desirable as soon as a failure is discovered, temporary patching methods should be carefully chosen to prevent inadvertent damage to sound or historic roofing materials and related features. Before any repair work is performed, the historic value of the materials used on the roof should be understood. Then a complete internal and external inspection of the roof should be planned to determine all the causes of failure and to identify the alternatives for repair or replacement of the roofing.

Historic Roofing Materials in America

Clay Tile: European settlers used clay tile for roofing as early as the mid-17th century; many pantiles (S-curved tiles), as well as flat roofing tiles, were used in Jamestown, Virginia. In some cities such as New York and Boston, clay was popularly used as a precaution against such fire as those that engulfed London in 1666 and scorched Boston in 1679.

Tiles roofs found in the mid-18th century Moravian settlements in Pennsylvania closely resembled those found in Germany. Typically, the tiles were 14–15" long, 6–7" wide with a curved butt. A lug on the back allowed the tiles to hang on the lathing without nails or pegs. The tile surface was usually scored with finger marks to promote drainage. In the Southwest, the tile roofs of the Spanish missionaries (mission tiles) were first manufactured (ca. 1780) at the Mission San Antonio de Padua in California. These semicircular tiles were



Repairs on this pantile roof were made with new tiles held in place with metal hangers. (Main Building, Ellis Island, New York)

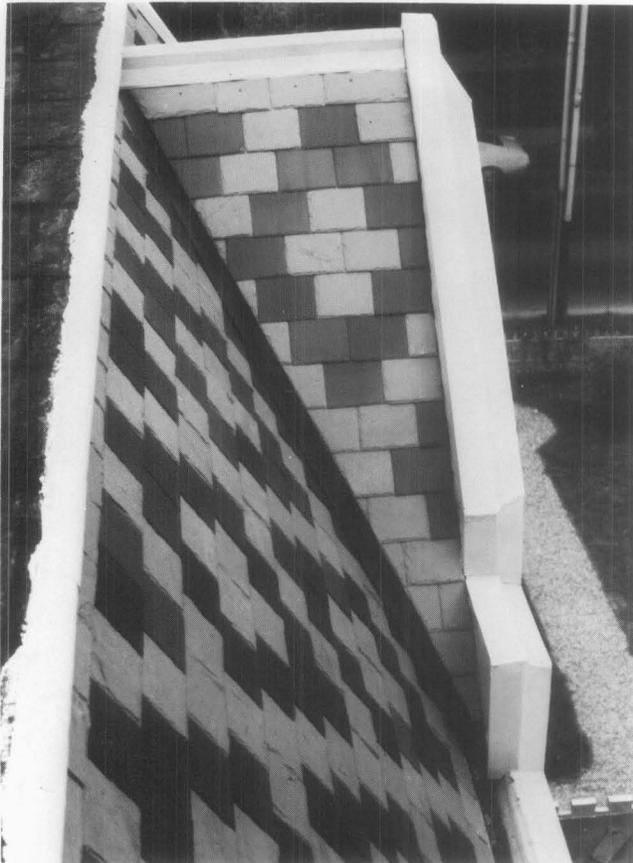
made by molding clay over sections of logs, and they were generally 22" long and tapered in width.

The plain or flat rectangular tiles most commonly used from the 17th through the beginning of the 19th century measured about 10" by 6" by 1/2", and had two holes at one end for a nail or peg fastener. Sometimes mortar was applied between the courses to secure the tiles in a heavy wind.

In the mid-19th century, tile roofs were often replaced by sheet-metal roofs, which were lighter and easier to install and maintain. However, by the turn of the century, the Romanesque Revival and Mission style buildings created a new demand and popularity for this picturesque roofing material.

Slate: Another practice settlers brought to the New World was slate roofing. Evidence of roofing slates have been found also among the ruins of mid-17th-century Jamestown. But because of the cost and the time required to obtain the material, which was mostly imported from Wales, the use of slate was initially limited. Even in Philadelphia (the second largest city in the English-speaking world at the time of the Revolution) slates were so rare that "The Slate Roof House" distinctly referred to William Penn's home built late in the 1600s. Sources of native slate were known to exist along the eastern seaboard from Maine to Virginia, but difficulties in inland transportation limited its availability to the cities, and contributed to its expense. Welsh slate continued to be imported until the development of canals and railroads in the mid-19th century made American slate more accessible and economical.

Slate was popular for its durability, fireproof qualities, and



The Victorians loved to use different colored slates to create decorative patterns on their roofs, an effect which cannot be easily duplicated by substitute materials. Before any repair work on a roof such as this, the slate sizes, colors, and position of the patterning should be carefully recorded to assure proper replacement. (Ebenezer Maxwell Mansion, Philadelphia, Pennsylvania, photo courtesy of William D. Hershey)

aesthetic potential. Because slate was available in different colors (red, green, purple, and blue-gray), it was an effective material for decorative patterns on many 19th-century roofs (Gothic and Mansard styles). Slate continued to be used well into the 20th century, notably on many Tudor revival style buildings of the 1920s.

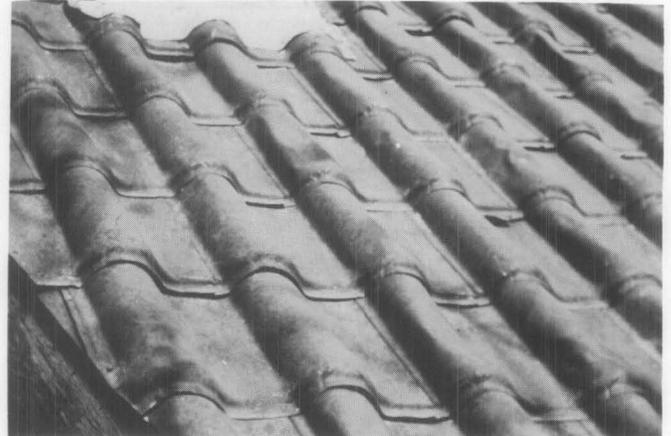
Shingles: Wood shingles were popular throughout the country in all periods of building history. The size and shape of the shingles as well as the detailing of the shingle roof differed according to regional craft practices. People within particular regions developed preferences for the local species of wood that most suited their purposes. In New England and the Delaware Valley, white pine was frequently used: in the South, cypress and oak; in the far west, red cedar or redwood. Sometimes a protective coating was applied to increase the durability of the shingle such as a mixture of brick dust and fish oil, or a paint made of red iron oxide and linseed oil.

Commonly in urban areas, wooden roofs were replaced with more fire resistant materials, but in rural areas this was not a major concern. On many Victorian country houses, the practice of wood shingling survived the technological advances of metal roofing in the 19th century, and near the turn of the century enjoyed a full revival in its namesake, the Shingle Style. Colonial revival and the Bungalow styles in the 20th century assured wood shingles a place as one of the most fashionable, domestic roofing materials.

Metal: Metal roofing in America is principally a 19th-century phenomenon. Before then the only metals commonly



Replacement of particular historic details is important to the individual historic character of a roof, such as the treatment at the eaves of this rounded butt wood shingle roof. Also note that the surface of the roof was carefully sloped to drain water away from the side of the dormer. In the restoration, this function was augmented with the addition of carefully concealed modern metal flashing. (Mount Vernon, Virginia)



Galvanized sheet-metal shingles imitating the appearance of pantiles remained popular from the second half of the 19th century into the 20th century. (Episcopal Church, now the Jerome Historical Society Building, Jerome, Arizona, 1927)

used were lead and copper. For example, a lead roof covered "Rosewell," one of the grandest mansions in 18th-century Virginia. But more often, lead was used for protective flashing. Lead, as well as copper, covered roof surfaces where wood, tile, or slate shingles were inappropriate because of the roof's pitch or shape.

Copper with standing seams covered some of the more notable early American roofs including that of Christ Church (1727-1744) in Philadelphia. Flat-seamed copper was used on many domes and cupolas. The copper sheets were imported from England until the end of the 18th century when facilities for rolling sheet metal were developed in America.

Sheet iron was first known to have been manufactured here by the Revolutionary War financier, Robert Morris, who had a rolling mill near Trenton, New Jersey. At his mill Morris produced the roof of his own Philadelphia mansion, which he started in 1794. The architect Benjamin H. Latrobe used sheet iron to replace the roof on Princeton's "Nassau Hall," which had been gutted by fire in 1802.

The method for corrugating iron was originally patented in England in 1829. Corrugating stiffened the sheets, and allowed greater span over a lighter framework, as well as reduced installation time and labor. In 1834 the American architect William Strickland proposed corrugated iron to cover his design for the market place in Philadelphia.

Galvanizing with zinc to protect the base metal from rust was developed in France in 1837. By the 1850s the material was used on post offices and customhouses, as well as on train sheds and factories. In 1857 one of the first metal roofs in the



Repeated repair with asphalt, which cracks as it hardens, has created a blistered surface on this sheet-metal roof and built-in gutter, which will retain water. Repairs could be made by carefully heating and scraping the surface clean, repairing the holes in the metal with a flexible mastic compound or a metal patch, and coating the surface with a fibre paint. (Roane County Courthouse, Kingston, Tennessee, photo courtesy of Building Conservation Technology, Inc.)

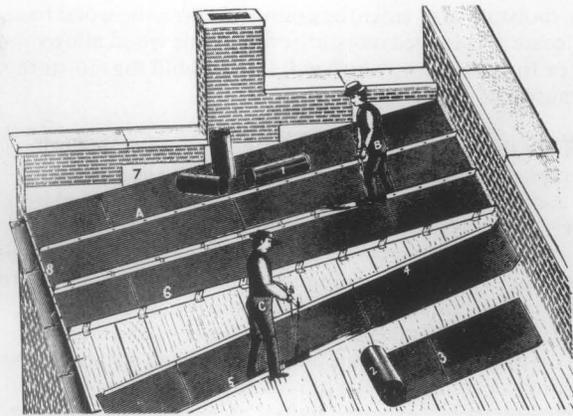
South was installed on the U.S. Mint in New Orleans. The Mint was thereby "fireproofed" with a 20-gauge galvanized, corrugated iron roof on iron trusses.

Tin-plate iron, commonly called "tin roofing," was used extensively in Canada in the 18th century, but it was not as common in the United States until later. Thomas Jefferson was an early advocate of tin roofing, and he installed a standing-seam tin roof on "Monticello" (ca. 1770-1802). The Arch Street Meetinghouse (1804) in Philadelphia had tin shingles laid in a herringbone pattern on a "piazza" roof.

However, once rolling mills were established in this country, the low cost, light weight, and low maintenance of tin plate made it the most common roofing material. Embossed tin shingles, whose surfaces created interesting patterns, were popular throughout the country in the late 19th century. Tin roofs were kept well-painted, usually red; or, as the architect A. J. Davis suggested, in a color to imitate the green patina of copper.

Terne plate differed from tin plate in that the iron was dipped in an alloy of lead and tin, giving it a duller finish. Historic, as well as modern, documentation often confuses the two, so much that it is difficult to determine how often actual "terne" was used.

Zinc came into use in the 1820s, at the same time tin plate was becoming popular. Although a less expensive substitute for lead, its advantages were controversial, and it was never widely used in this country.



A Chicago firm's catalog dated 1896 illustrates a method of unrolling, turning the edges, and finishing the standing seam on a metal roof.



Tin shingles, commonly embossed to imitate wood or tile, or with a decorative design, were popular as an inexpensive, textured roofing material. These shingles $8\frac{3}{8}$ inch by $12\frac{1}{2}$ inch on the exposed surface) were designed with interlocking edges, but they have been repaired by surface nailing, which may cause future leakage. (Ballard House, Yorktown, Virginia, photo by Gordie Whittington, National Park Service)

Other Materials: Asphalt shingles and roll roofing were used in the 1890s. Many roofs of asbestos, aluminum, stainless steel, galvanized steel, and lead-coated copper may soon have historic values as well. Awareness of these and other traditions of roofing materials and their detailing will contribute to more sensitive preservation treatments.

Locating the Problem

Failures of Surface Materials

When trouble occurs, it is important to contact a professional, either an architect, a reputable roofing contractor, or a craftsman familiar with the inherent characteristics of the particular historic roofing system involved. These professionals may be able to advise on immediate patching procedures and help plan more permanent repairs. A thorough examination of the roof should start with an appraisal of the existing condition and quality of the roofing material itself. Particular attention should be given to any southern slope because year-round exposure to direct sun may cause it to break down first.

Wood: Some historic roofing materials have limited life expectancies because of normal organic decay and "wear." For example, the flat surfaces of wood shingles erode from exposure to rain and ultraviolet rays. Some species are more hardy than others, and heartwood, for example, is stronger and more durable than sapwood.

Ideally, shingles are split with the grain perpendicular to

the surface. This is because if shingles are sawn across the grain, moisture may enter the grain and cause the wood to deteriorate. Prolonged moisture on or in the wood allows moss or fungi to grow, which will further hold the moisture and cause rot.

Metal: Of the inorganic roofing materials used on historic buildings, the most common are perhaps the sheet metals: lead, copper, zinc, tin plate, terne plate, and galvanized iron. In varying degrees each of these sheet metals are likely to deteriorate from chemical action by pitting or streaking. This can be caused by airborne pollutants; acid rainwater; acids from lichen or moss; alkalis found in lime mortars or portland cement, which might be on adjoining features and washes down on the roof surface; or tannic acids from adjacent wood sheathings or shingles made of red cedar or oak.

Corrosion from "galvanic action" occurs when dissimilar metals, such as copper and iron, are used in direct contact. Corrosion may also occur even though the metals are physically separated; one of the metals will react chemically against the other in the presence of an electrolyte such as rainwater. In roofing, this situation might occur when either a copper roof is decorated with iron cresting, or when steel nails are used in copper sheets. In some instances the corrosion can be prevented by inserting a plastic insulator between the dissimilar materials. Ideally, the fasteners should be a metal sympathetic to those involved.

Iron rusts unless it is well-painted or plated. Historically this problem was avoided by use of tin plating or galvanizing. But this method is durable only as long as the coating remains intact. Once the plating is worn or damaged, the exposed iron will rust. Therefore, any iron-based roofing material needs to be undercoated, and its surface needs to be kept well-painted to prevent corrosion.

One cause of sheet metal deterioration is fatigue. Depending upon the size and the gauge of the metal sheets, wear and metal failure can occur at the joints or at any protrusions in the sheathing as a result from the metal's alternating movement to thermal changes. Lead will tear because of "creep," or the gravitational stress that causes the material to move down the roof slope.

Slate: Perhaps the most durable roofing materials are slate and tile. Seemingly indestructible, both vary in quality. Some slates are hard and tough without being brittle. Soft slates are more subject to erosion and to attack by airborne and rain-

water chemicals, which cause the slates to wear at nail holes, to delaminate, or to break. In winter, slate is very susceptible to breakage by ice, or ice dams.

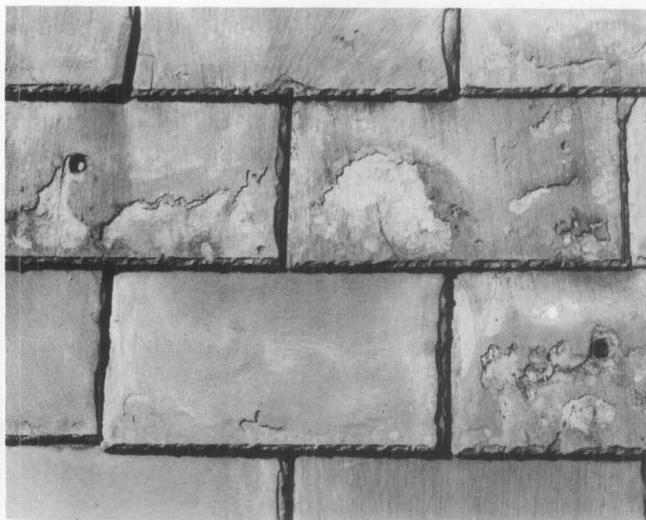
Tile: Tiles will weather well, but tend to crack or break if hit, as by tree branches, or if they are walked on improperly. Like slates, tiles cannot support much weight. Low quality tiles that have been insufficiently fired during manufacture, will craze and spall under the effects of freeze and thaw cycles on their porous surfaces.

Failures of Support Systems

Once the condition of the roofing material has been determined, the related features and support systems should be examined on the exterior and on the interior of the roof. The gutters and downspouts need periodic cleaning and maintenance since a variety of debris fill them, causing water to back up and seep under roofing units. Water will eventually cause fasteners, sheathing, and roofing structure to deteriorate. During winter, the daily freeze-thaw cycles can cause ice floes to develop under the roof surface. The pressure from these ice floes will dislodge the roofing material, especially slates, shingles, or tiles. Moreover, the buildup of ice dams above the gutters can trap enough moisture to rot the sheathing or the structural members.

Many large public buildings have built-in gutters set within the perimeter of the roof. The downspouts for these gutters may run within the walls of the building, or drainage may be through the roof surface or through a parapet to exterior downspouts. These systems can be effective if properly maintained; however, if the roof slope is inadequate for good runoff, or if the traps are allowed to clog, rainwater will form pools on the roof surface. Interior downspouts can collect debris and thus back up, perhaps leaking water into the surrounding walls. Exterior downspouts may fill with water, which in cold weather may freeze and crack the pipes. Conduits from the built-in gutter to the exterior downspout may also leak water into the surrounding roof structure or walls.

Failure of the flashing system is usually a major cause of roof deterioration. Flashing should be carefully inspected for failure caused by either poor workmanship, thermal stress, or metal deterioration (both of flashing material itself and of the fasteners). With many roofing materials, the replacement of flashing on an existing roof is a major operation, which may require taking up large sections of the roof surface. Therefore, the installation of top quality flashing material on



This detail shows slate delamination caused by a combination of weathering and pollution. In addition, the slates have eroded around the repair nails, incorrectly placed in the exposed surface of the slates. (Lower Pontalba Building, New Orleans, photo courtesy of Building Conservation Technology, Inc.)



Temporary stabilization or "mothballing" with materials such as plywood and building paper can protect the roof of a project until it can be properly repaired or replaced. (Narbonne House, Salem, Massachusetts)



These two views of the same house demonstrate how the use of a substitute material can drastically affect the overall character of a structure. The textural interest of the original tile roof was lost with the use of asphalt shingles. Recent preservation efforts are replacing the tile roof. (Frank House, Kearney, Nebraska, photo courtesy of the Nebraska State Historical Society, Lincoln, Nebraska)

a new or replaced roof should be a primary consideration. Remember, some roofing and flashing materials are not compatible.

Roof fasteners and clips should also be made of a material compatible with all other materials used, or coated to prevent rust. For example, the tannic acid in oak will corrode iron nails. Some roofs such as slate and sheet metals may fail if nailed too rigidly.

If the roof structure appears sound and nothing indicates recent movement, the area to be examined most closely is the roof substrate—the sheathing or the battens. The danger spots would be near the roof plates, under any exterior patches, at the intersections of the roof planes, or at vertical surfaces such as dormers. Water penetration, indicating a breach in the roofing surface or flashing, should be readily apparent, usually as a damp spot or stain. Probing with a small pen knife may reveal any rot which may indicate previously undetected damage to the roofing membrane. Insect infestation evident by small exit holes and frass (a sawdust-like debris) should also be noted. Condensation on the underside of the roofing is undesirable and indicates improper ventilation. Moisture will have an adverse effect on any roofing material; a good roof stays dry inside and out.

Repair or Replace

Understanding potential weaknesses of roofing material also requires knowledge of repair difficulties. Individual slates can be replaced normally without major disruption to the rest of the roof, but replacing flashing on a slate roof can require substantial removal of surrounding slates. If it is the substrate or a support material that has deteriorated, many surface materials such as slate or tile can be reused if handled carefully during the repair. Such problems should be evaluated at the outset of any project to determine if the roof can be effectively patched, or if it should be completely replaced.

Will the repairs be effective? Maintenance costs tend to multiply once trouble starts. As the cost of labor escalates, repeated repairs could soon equal the cost of a new roof.

The more durable the surface is initially, the easier it will be to maintain. Some roofing materials such as slate are expensive to install, but if top quality slate and flashing are used, it will last 40–60 years with minimal maintenance. Although the installation cost of the roof will be high, low maintenance needs will make the lifetime cost of the roof less expensive.

Historical Research

In a restoration project, research of documents and physical investigation of the building usually will establish the roof's history. Documentary research should include any original plans or building specifications, early insurance surveys, newspaper descriptions, or the personal papers and files of people who owned or were involved in the history of the building. Old photographs of the building might provide evidence of missing details.

Along with a thorough understanding of any written history of the building, a physical investigation of the roofing and its structure may reveal information about the roof's construction history. Starting with an overall impression of the structure, are there any changes in the roof slope, its configuration, or roofing materials? Perhaps there are obvious patches or changes in patterning of exterior brickwork where a gable roof was changed to a gambrel, or where a whole upper story was added. Perhaps there are obvious stylistic changes in the roof line, dormers, or ornamentation. These observations could help one understand any important alteration, and could help establish the direction of further investigation.

Because most roofs are physically out of the range of careful scrutiny, the "principle of least effort" has probably limited the extent and quality of previous patching or replacing, and usually considerable evidence of an earlier roof surface remains. Sometimes the older roof will be found as an underlayment of the current exposed roof. Original roofing may still be intact in awkward places under later features on a roof. Often if there is any unfinished attic space, remnants of roofing may have been dropped and left when the roof was being built or repaired. If the configuration of the roof has been changed, some of the original material might still be in place under the existing roof. Sometimes whole sections of the roof and roof framing will have been left intact under the higher roof. The profile and/or flashing of the earlier roof may be apparent on the interior of the walls at the level of the alteration. If the sheathing or lathing appears to have survived changes in the roofing surface, they may contain evidence of the roofing systems. These may appear either as dirt marks, which provide "shadows" of a roofing material, or as nails broken or driven down into the wood, rather than pulled out during previous alterations or repairs. Wooden headers in the roof framing may indicate that earlier chimneys or skylights have been removed. Any metal ornamentation that might have existed may be indicated by anchors or unusual markings along the ridge or at other edges of the roof. This primary

evidence is essential for a full understanding of the roof's history.

Caution should be taken in dating early "fabric" on the evidence of a single item, as recycling of materials is not a mid-20th-century innovation. Carpenters have been reusing materials, sheathing, and framing members in the interest of economy for centuries. Therefore, any analysis of the materials found, such as nails or sawmarks on the wood, requires an accurate knowledge of the history of local building practices before any final conclusion can be accurately reached. It is helpful to establish a sequence of construction history for the roof and roofing materials; any historic fabric or pertinent evidence in the roof should be photographed, measured, and recorded for future reference.

During the repair work, useful evidence might unexpectedly appear. It is essential that records be kept of any type of work on a historic building, before, during, and after the project. Photographs are generally the easiest and fastest method, and should include overall views and details at the gutters, flashing, dormers, chimneys, valleys, ridges, and eaves. All photographs should be immediately labeled to insure accurate identification at a later date. Any patterning or design on the roofing deserves particular attention. For example, slate roofs are often decorative and have subtle changes in size, color, and texture, such as a gradually decreasing coursing length from the eave to the peak. If not carefully noted before a project begins, there may be problems in replacing the surface. The standard reference for this phase of the work is *Recording Historic Buildings*, compiled by Harley J. McKee for the Historic American Buildings Survey, National Park Service, Washington, D.C., 1970.

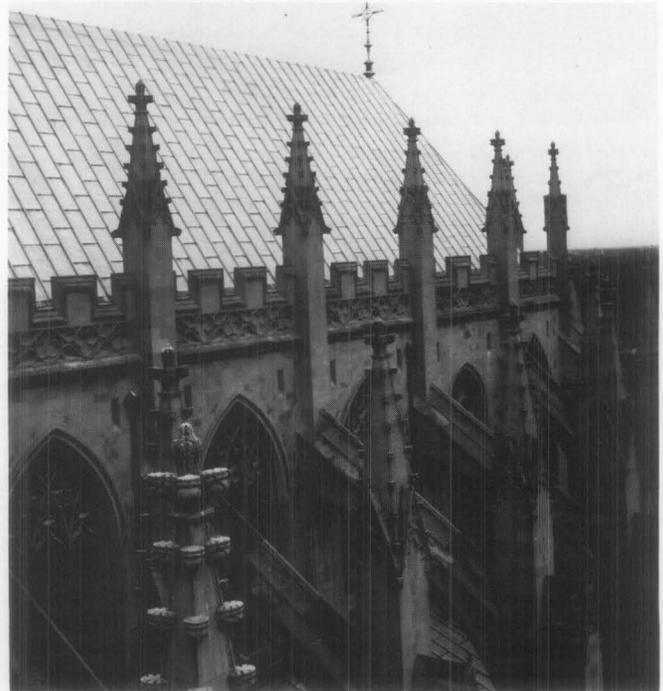
Replacing the Historic Roofing Material

Professional advice will be needed to assess the various aspects of replacing a historic roof. With some exceptions, most historic roofing materials are available today. If not, an architect or preservation group who has previously worked with the same type material may be able to recommend suppliers. Special roofing materials, such as tile or embossed metal shingles, can be produced by manufacturers of related products that are commonly used elsewhere, either on the exterior or interior of a structure. With some creative thinking and research, the historic materials usually can be found.



Because of the roof's visibility, the slate detailing around the dormers is important to the character of this structure. Note how the slates swirl from a horizontal pattern on the main roof to a diamond pattern on the dormer roofs and side walls. (18th and Que Streets, NW, Washington, D.C.)

Craft Practices: Determining the craft practices used in the installation of a historic roof is another major concern in roof restoration. Early builders took great pride in their work, and experience has shown that the "rustic" or irregular designs commercially labeled "Early American" are a 20th-century invention. For example, historically, wood shingles underwent several distinct operations in their manufacture including splitting by hand, and smoothing the surface with a draw knife. In modern nomenclature, the same item would be a "tapersplit" shingle which has been dressed. Unfortunately, the rustic appearance of today's commercially available "handsplit" and re-sawn shingle bears no resemblance to the hand-made roofing materials used on early American buildings.



Good design and quality materials for the roof surface, fastenings, and flashing minimize roofing failures. This is essential on roofs such as on the National Cathedral where a thorough maintenance inspection and minor repairs cannot be done easily without special scaffolding. However, the success of the roof on any structure depends on frequent cleaning and repair of the gutter system. (Washington, D.C., photo courtesy of John Burns, A.I.A.)

Early craftsmen worked with a great deal of common sense; they understood their materials. For example they knew that wood shingles should be relatively narrow; shingles much wider than about 6" would split when walked on, or they may curl or crack from varying temperature and moisture. It is important to understand these aspects of craftsmanship, remembering that people wanted their roofs to be weather-tight and to last a long time. The recent use of "mother-goose" shingles on historic structures is a gross underestimation of the early craftsman's skills.

Supervision: Finding a modern craftsman to reproduce historic details may take some effort. It may even involve some special instruction to raise his understanding of certain historic craft practices. At the same time, it may be pointless (and expensive) to follow historic craft practices in any construction that will not be visible on the finished product. But if the roofing details are readily visible, their appearance should be based on architectural evidence or on historic prototypes. For instance, the spacing of the seams on a standing-seam metal roof will affect the building's overall scale and should therefore match the original dimensions of the seams.

Many older roofing practices are no longer performed because of modern improvements. Research and review of specific detailing in the roof with the contractor before beginning the project is highly recommended. For example, one early craft practice was to finish the ridge of a wood shingle roof with a roof "comb"—that is, the top course of one slope of the roof was extended uniformly beyond the peak to shield the ridge, and to provide some weather protection for the raw horizontal edges of the shingles on the other slope. If the "comb" is known to have been the correct detail, it should be used. Though this method leaves the top course vulnerable to the weather, a disguised strip of flashing will strengthen this weak point.

Detail drawings or a sample mock-up will help ensure that the contractor or craftsman understands the scope and special requirements of the project. It should never be assumed that the modern carpenter, slater, sheet metal worker, or roofer will know all the historic details. Supervision is as important as any other stage of the process.



Special problems inherent in the design of an elaborate historic roof can be controlled through the use of good materials and regular maintenance. The shape and detailing are essential elements of the building's historic character, and should not be modified, despite the use of alternative surface materials. (Gamwell House, Bellingham, Washington)

Alternative Materials

The use of the historic roofing material on a structure may be restricted by building codes or by the availability of the materials, in which case an appropriate alternative will have to be found.

Some municipal building codes allow variances for roofing materials in historic districts. In other instances, individual variances may be obtained. Most modern heating and cooking is fueled by gas, electricity, or oil—none of which emit the hot embers that historically have been the cause of roof fires. Where wood burning fireplaces or stoves are used, spark arrestor screens at the top of the chimneys help to prevent flaming material from escaping, thus reducing the number of fires that start at the roof. In most states, insurance rates have been equalized to reflect revised considerations for the risks involved with various roofing materials.

In a rehabilitation project, there may be valid reasons for replacing the roof with a material other than the original. The historic roofing may no longer be available, or the cost of obtaining specially fabricated materials may be prohibitive. But

the decision to use an alternative material should be weighed carefully against the primary concern to keep the historic character of the building. If the roof is flat and is not visible from any elevation of the building, and if there are advantages to substituting a modern built-up composition roof for what might have been a flat metal roof, then it may make better economic and construction sense to use a modern roofing method. But if the roof is readily visible, the alternative material should match as closely as possible the scale, texture, and coloration of the historic roofing material.

Asphalt shingles or ceramic tiles are common substitute materials intended to duplicate the appearance of wood shingles, slates, or tiles. Fire-retardant, treated wood shingles are currently available. The treated wood tends, however, to be brittle, and may require extra care (and expense) to install. In some instances, shingles laid with an interlay of fire-retardant building paper may be an acceptable alternative.

Lead-coated copper, terne-coated steel, and aluminum/zinc-coated steel can successfully replace tin, terne plate, zinc, or lead. Copper-coated steel is a less expensive (and less durable) substitute for sheet copper.

The search for alternative roofing materials is not new. As early as the 18th century, fear of fire cause many wood shingle or board roofs to be replaced by sheet metal or clay tile. Some historic roofs were failures from the start, based on over-ambitious and naive use of materials as they were first developed. Research on a structure may reveal that an inadequately designed or a highly combustible roof was replaced early in its history, and therefore restoration of a later roof material would have a valid precedent. In some cities, the substitution of sheet metal on early row houses occurred as soon as the rolled material became available.

Cost and ease of maintenance may dictate the substitution of a material wholly different in appearance from the original. The practical problems (wind, weather, and roof pitch) should be weighed against the historical consideration of scale, texture, and color. Sometimes the effect of the alternative material will be minimal. But on roofs with a high degree of visibility and patterning or texture, the substitution may seriously alter the architectural character of the building.

Temporary Stabilization

It may be necessary to carry out an immediate and temporary stabilization to prevent further deterioration until research can determine how the roof should be restored or rehabilitated, or until funding can be provided to do a proper job. A simple covering of exterior plywood or roll roofing might provide adequate protection, but any temporary covering should be applied with caution. One should be careful not to overload the roof structure, or to damage or destroy historic evidence or fabric that might be incorporated into a new roof at a later date. In this sense, repairs with caulking or bituminous patching compounds should be recognized as potentially harmful, since they are difficult to remove, and at their best, are very temporary.

Precautions

The architect or contractor should warn the owner of any precautions to be taken against the specific hazards in installing the roofing material. Soldering of sheet metals, for instance, can be a fire hazard, either from the open flame or from overheating and undected smoldering of the wooden substrate materials.

Thought should be given to the design and placement of any modern roof appurtenances such as plumbing stacks, air vents, or TV antennas. Consideration should begin with the placement of modern plumbing on the interior of the building, otherwise a series of vent stacks may pierce the roof membrane at various spots creating maintenance problems as well as aesthetic ones. Air handling units placed in the attic space will require vents which, in turn, require sensitive design. Incorporating these in unused chimneys has been very successful

in the past.

Whenever gutters and downspouts are needed that were not on the building historically, the additions should be made as unobtrusively as possible, perhaps by painting them out with a color compatible with the nearby wall or trim.

Maintenance

Although a new roof can be an object of beauty, it will not be protective for long without proper maintenance. At least twice a year, the roof should be inspected against a checklist. All changes should be recorded and reported. Guidelines should be established for any foot traffic that may be required for the maintenance of the roof. Many roofing materials should not be walked on at all. For some—slate, asbestos, and clay tile—a self-supporting ladder might be hung over the ridge of the roof, or planks might be spanned across the roof surface. Such items should be specifically designed and kept in a storage space accessible to the roof. If exterior work ever requires hanging scaffolding, use caution to insure that the anchors do not penetrate, break, or wear the roofing surface, gutters, or flashing.

Any roofing system should be recognized as a membrane that is designed to be self-sustaining, but that can be easily damaged by intrusions such as pedestrian traffic or fallen tree branches. Certain items should be checked at specific times. For example, gutters tend to accumulate leaves and debris during the spring and fall and after heavy rain. Hidden gutter screening both at downspouts and over the full length of the gutter could help keep them clean. The surface material would require checking after a storm as well. Periodic checking of the underside of the roof from the attic after a storm or winter freezing may give early warning of any leaks. Generally, damage from water or ice is less likely on a roof that has good flashing on the outside and is well ventilated and insulated on the inside. Specific instructions for the maintenance of the different roof materials should be available from the architect or contractor.

Summary

The essential ingredients for replacing and maintaining a historic roof are:

- Understanding the historic character of the building and being sympathetic to it.
- Careful examination and recording of the existing roof and any evidence of earlier roofs.
- Consideration of the historic craftsmanship and detailing and implementing them in the renewal wherever visible.
- Supervision of the roofers or maintenance personnel to assure preservation of historic fabric and proper understanding of the scope and detailing of the project.
- Consideration of alternative materials where the original cannot be used.
- Cyclical maintenance program to assure that the staff understands how to take care of the roof and of the particular trouble spots to safeguard.

With these points in mind, it will be possible to preserve the architectural character and maintain the physical integrity of the roofing on a historic building.

This Preservation Brief was written by Sarah M. Sweetser, Architectural Historian, Technical Preservation Services Division. Much of the technical information was based upon an unpublished report prepared under contract for this office by John G. and Diana S. Waite. Some of the historical information was from Charles E. Peterson, FAIA, "American Notes," *Journal of the Society of Architectural Historians*.

The illustrations for this brief not specifically credited are from the files of the Technical Preservation Services Division.

This publication was prepared pursuant to Executive Order 11593, "Protection and Enhancement of the Cultural Environment," which directs the Secretary of the Interior to "develop and make available to Federal agencies and State and local governments information concerning professional methods and tech-



Decorative features such as cupolas require extra maintenance. The flashing is carefully detailed to promote run-off, and the wooden ribbing must be kept well-painted. This roof surface, which was originally tin plate, has been replaced with lead-coated copper for maintenance purposes. (Lyndhurst, Tarrytown, New York, photo courtesy of the National Trust for Historic Preservation)

niques for preserving, improving, restoring and maintaining historic properties." The Brief has been developed under the technical editorship of Lee H. Nelson, AIA, Chief, Preservation Assistance Division, National Park Service, U.S. Department of the Interior, Washington, D.C. 20240. Comments on the usefulness of this information are welcome and can be sent to Mr. Nelson at the above address. This publication is not copyrighted and can be reproduced without penalty. Normal procedures for credit to the author and the National Park Service are appreciated. February 1978.

Additional readings on the subject of roofing are listed below.

- Boaz, Joseph N., ed. *Architectural Graphic Standards*. New York: John Wiley and Sons, Inc., 1970. (Modern roofing types and detailing)
- Briggs, Martin S. *A Short History of the Building Crafts*. London: Oxford University Press, 1925. (Descriptions of historic roofing materials)
- Bulletin of the Association for Preservation Technology*. Vol. 2 (nos. 1-2) 1970. (Entirely on roofing)
- Holstrom, Ingmar; and Sandstrom, Christina. *Maintenance of Old Buildings: Preservation from the Technical and Antiquarian Standpoint*. Stockholm: National Swedish Building Research, 1972. (Contains a section on roof maintenance problems)
- Insall, Donald. *The Care of Old Buildings Today*. London: The Architectural Press, 1972. (Excellent guide to some problems and solutions for historic roofs)
- Labine, R.A. Clem. "Repairing Slate Roofs." *The Old House Journal* 3 (no. 12, Dec. 1975): 6-7.
- Lefler, Henry. "A Birds-eye View." *Progressive Architecture*. (Mar. 1977), pp. 88-92. (Article on contemporary sheet metal)
- National Slate Association. *Slate Roofs*. Reprint of 1926 edition, now available from the Vermont Structural Slate Co., Inc., Fairhaven, VT 05743. (An excellent reference for the many designs and details of slate roofs)
- Peterson, Charles E. "Iron in Early American Roofs." *The Smithsonian Journal of History* 3 (no. 3). Edited by Peter C. Welsh. Washington, D.C.: Smithsonian Institution, 1968, pp. 41-76.
- Waite, Diana S. *Nineteenth Century Tin Roofing and its Use at Hyde Hall*. Albany: New York State Historic Trust, 1971.
- . "Roofing for Early America." *Building Early America*. Edited by Charles E. Peterson. Radnor, Penn.: Chilton Book Co., 1976.



STANDARDS FOR REHABILITATION AND GUIDELINES FOR REHABILITATING HISTORIC BUILDINGS

EXTERIOR FEATURES

roofs



HISTORICAL OVERVIEW

[Identify](#) [Protect](#) [Repair](#) [Replace](#) [Missing feature](#) [Alterations/Additions](#)

Identify, Retain and Preserve

RECOMMENDED

Identifying, retaining, and preserving roofs—and their functional and decorative features—that are important in defining the overall historic character of the building. This includes the roof's shape, such as hipped, gambrel, and mansard; decorative features such as cupolas, cresting chimneys, and weathervanes; and roofing material such as slate, wood, clay tile, and metal, as well as its size, color, and patterning.



*These slate and copper mansard roofs are distinctive features of their urban setting and need to be retained and repaired, or if too deteriorated to repair, replaced in kind to match.
Photo: NPS files.*

NOT RECOMMENDED

Radically changing, damaging, or destroying roofs which are important in defining the overall historic character of the building so that, as a result, the character is diminished.

Removing a major portion of the roof or roofing material that is repairable, then reconstructing it with new material in order to create a uniform, or "improved" appearance.

Changing the configuration of a roof by adding new features such as dormer windows, vents, or skylights so that the historic character is diminished.

Stripping the roof of sound historic material such as slate, clay tile, wood, and architectural metal.

Applying paint or other coatings to roofing material which has been historically uncoated.

[top](#)

-GUIDELINES-

The Approach

Exterior Materials

[Masonry](#)

[Wood](#)

[Architectural Metals](#)

Exterior Features

[Roofs](#)

[Windows](#)

[Entrances + Porches](#)

[Storefronts](#)

Interior Features

[Structural System](#)

[Spaces/Features/Finishes](#)

[Mechanical Systems](#)

Site

Setting

Special Requirements

[Energy Efficiency](#)

[New Additions](#)

[Accessibility](#)

[Health + Safety](#)

THE STANDARDS

Protect and Maintain

RECOMMENDED

Protecting and maintaining a roof by cleaning the gutters and downspouts and replacing deteriorated flashing. Roof sheathing should also be checked for proper venting to prevent moisture condensation and water penetration; and to ensure that materials are free from insect infestation.



*This new step flashing overlaps the next in a downward slope to shed water draining down the face of the chimney and the roof.
Photo: © John Leeke.*

Providing adequate anchorage for roofing material to guard against wind damage and moisture penetration.

Protecting a leaking roof with plywood and building paper until it can be properly repaired.

NOT RECOMMENDED

Failing to clean and maintain gutters and downspouts properly so that water and debris collect and cause damage to roof fasteners, sheathing, and the underlying structure.

Allowing roof fasteners, such as nails and clips to corrode so that roofing material is subject to accelerated deterioration.

Permitting a leaking roof to remain unprotected so that accelerated deterioration of historic building materials—masonry, wood, plaster, paint and structural members—occurs.

[top](#)

Repair

RECOMMENDED

Repairing a roof by reinforcing the historic materials which comprise roof features. Repairs will also generally include the limited replacement in kind—or with compatible substitute material—of those extensively deteriorated or missing parts of features when there are surviving prototypes such as cupola louvers, dentils, dormer roofing; or slates, tiles, or wood shingles on a main roof.

After removing the deteriorated slate and sliding the new slate into place, it is secured with a copper nail. A copper bib



(shown here) is formed to protect the newly created nail hole. Finally, a slate hammer is used to push the bib in place over the nail head. Photo: Jeffrey S. Levine.

NOT RECOMMENDED

Replacing an entire roof feature such as a cupola or dormer when repair of the historic materials and limited replacement of deteriorated or missing parts are appropriate.

Failing to reuse intact slate or tile when only the roofing substrate needs replacement.

Using a substitute material for the replacement part that does not convey the visual appearance of the surviving parts of the roof or that is physically or chemically incompatible.

top

Replace

RECOMMENDED

Replacing in kind an entire feature of the roof that is too deteriorated to repair—if the overall form and detailing are still evident—using the physical evidence as a model to reproduce the feature. Examples can include a large section of roofing, or a dormer or chimney. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered.

NOT RECOMMENDED

Removing a feature of the roof that is unrepairable, such as a chimney or dormer, and not replacing it; or replacing it with a new feature that does not convey the same visual appearance



Asphalt shingles are an incompatible replacement substitute for the original Spanish clay tiles. Photo: NPS files.

top

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Design for the Replacement of Missing Historic

Features

RECOMMENDED

Designing and constructing a new feature when the historic feature is completely missing, such as chimney or cupola. It may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the size, scale, material, and color of the historic building.

NOT RECOMMENDED

Creating a false historical appearance because the replaced feature is based on insufficient historical, pictorial, and physical documentation.

Introducing a new roof feature that is incompatible in size, scale, material and color.

top

The following work is highlighted to indicate that it represents the particularly complex technical or design aspects of Rehabilitation projects and should only be considered after the preservation concerns listed above have been addressed.

Alterations/Additions for the New Use

RECOMMENDED

Installing mechanical and service equipment on the roof such as air conditioning, transformers, or solar collectors when required for the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Designing additions to roofs such as residential, office, or storage spaces; elevator housing; decks and terraces; or dormers or skylights when required by the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

NOT RECOMMENDED

Installing mechanical or service equipment so that it damages or obscures character-defining features; or is conspicuous from the public right-of-way.

Radically changing a character-defining roof shape or damaging or destroying character-defining roofing material as a result of incompatible design or improper installation techniques.

[HISTORICAL OVERVIEW](#) - [PRESERVING](#) - [rehabilitating](#) - [RESTORING](#) - [RECONSTRUCTING](#)

[main](#) - [credits](#) - [email](#)

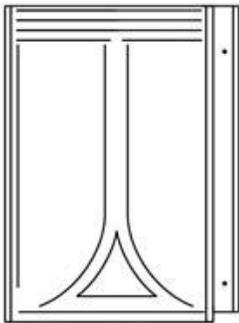
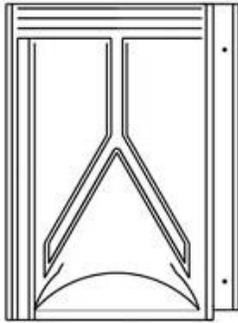
VICTORIAN AND CLASSIC SHINGLES

BY BERRIDGE MANUFACTURING

Acceptable Replacement for Metal Shingles

<http://www.berridge.com/products/berridge-metal-shingles/berridge-victorian-classic-metal-shingles/>



QUICK FACTS			
<p>ArcelorMittal Galvalume™ is a coated steel product that has proven its superior performance as a building material in extended field testing in a diverse range of corrosive environments. Its unique combination of durability, edge protection, and resistance to corrosion is at least twice that of galvanized steel.</p>	<p>Individual Shingle System 9" X 12"</p>  <p><i>Berridge Victorian Shingle</i></p>	<p>9" X 12"</p>  <p><i>Berridge Classic Shingle</i></p>	<p>All colors applied by Berridge are premium fluoropolymer coatings produced with full strength Kynar 500® or Hylar 5000™ resin</p> <p>Energy Star Approved</p>

COLOR CHOICES

STANDARD COLORS

Due to limitations in the printing process, please request actual color chips for accurate color viewing.



PREMIUM COLORS

Berridge premium colors require a nominal surcharge.



METALLIC COLORS

Berridge metallic colors are premium finishes which require a nominal surcharge. Due to limitations in the printing process, please request actual color chips for accurate color viewing.



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ACRYLIC-COATED GALVALUME®



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Almond complies with LEED® v3 requirements for low slopes.
Natural White complies with LEED® v3 & Energy Star requirements for low slopes.

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- Traditional appearance
- May be used for roof & wall applications
- Concealed fasteners
- Florida Product Approval
- Miami-Dade Approved



Victorian Shingles
9" x 12" Coverage



Classic Shingles
9" x 12" Coverage

SPECIFICATIONS

(Complete specifications available at www.berridge.com)

PRODUCT:

Furnish and install Berridge Victorian or Classic Shingles as manufactured by Berridge Manufacturing Company, San Antonio, Texas.

MANUFACTURE:

Each shingle to have a stamped design with 9" x 12" coverage.

MATERIALS AND FINISH

Reference web site: www.berridge.com

CONSTRUCTION DETAILS

Reference web site: www.berridge.com



Berridge Manufacturing Company
6515 Fratt Road
San Antonio, Texas 78218
(800) 669-0009 • www.berridge.com



DEPARTMENT OF REGULATORY AND ECONOMIC RESOURCES (RER)
BOARD AND CODE ADMINISTRATION DIVISION

MIAMI-DADE COUNTY
PRODUCT CONTROL SECTION
11805 SW 26 Street, Room 208
Miami, Florida 33175-2474
T (786) 315-2590 F (786) 315-2599
www.miamidadecounty.gov/economy

NOTICE OF ACCEPTANCE (NOA)

Berridge Manufacturing Company
1720 Maury
Houston, TX. 77026

SCOPE:

This NOA is being issued under the applicable rules and regulations governing the use of construction materials. The documentation submitted has been reviewed and accepted by Miami-Dade County RER - Product Control Section to be used in Miami Dade County and other areas where allowed by the Authority Having Jurisdiction (AHJ).

This NOA shall not be valid after the expiration date stated below. The Miami-Dade County Product Control Section (In Miami Dade County) and/or the AHJ (in areas other than Miami Dade County) reserve the right to have this product or material tested for quality assurance purposes. If this product or material fails to perform in the accepted manner, the manufacturer will incur the expense of such testing and the AHJ may immediately revoke, modify, or suspend the use of such product or material within their jurisdiction. RER reserves the right to revoke this acceptance, if it is determined by Miami-Dade County Product Control Section that this product or material fails to meet the requirements of the applicable building code.

This product is approved as described herein, and has been designed to comply with the Florida Building Code including the High Velocity Hurricane Zone of the Florida Building Code.

DESCRIPTION: Victorian Classic Shingle

LABELING: Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved", unless otherwise noted herein.

RENEWAL of this NOA shall be considered after a renewal application has been filed and there has been no change in the applicable building code negatively affecting the performance of this product.

TERMINATION of this NOA will occur after the expiration date or if there has been a revision or change in the materials, use, and/or manufacture of the product or process. Misuse of this NOA as an endorsement of any product, for sales, advertising or any other purposes shall automatically terminate this NOA. Failure to comply with any section of this NOA shall be cause for termination and removal of NOA.

ADVERTISEMENT: The NOA number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the NOA is displayed, then it shall be done in its entirety.

INSPECTION: A copy of this entire NOA shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This revises NOA# 12-0906.08 and consists of pages 1 through 7.
The submitted documentation was reviewed by Alex Tigera.



NOA No.: 12-1226.01
Expiration Date: 10/18/17
Approval Date: 05/02/13
Page 1 of 7

ROOFING ASSEMBLY APPROVAL:

Category: Roofing
Sub-Category: Non-Structural Metal Roofing
Material: Steel
Deck Type: Wood
Maximum Design Pressure -131 psf.

TRADE NAMES OF PRODUCTS MANUFACTURED OR LABELED BY APPLICANT:

<u>Product</u>	<u>Dimensions</u>	<u>Test Specifications</u>	<u>Product Description</u>
Berridge Victorian/Classic Shingle	l = 13-7/8" w = 11" Thickness = 24 ga. Min. Yield Strength: 59.4 ksi.	TAS 125	G-90 galvanized or galvalume shingles coated with various approved coatings, Fluoroceram.

MANUFACTURING LOCATIONS:

1. Houston, TX.
2. San Antonio, TX.
3. Seguin, TX.

EVIDENCE SUBMITTED:

<u>Test Agency</u>	<u>Test Identifier</u>	<u>Test Name/Report</u>	<u>Date</u>
Force Engineering & Testing, Inc.	49-0242T-12A, B	TAS 125	12/04/12
BASF	Lab Test Certification	ASTM B-117 ASTM G-23	06/05/06
Hurricane Test Laboratories, Inc.	0307-0127-04	TAS 125	03/09/04
Q.C. Metallurgical Laboratory, Inc.	1238-01	ASTM E8	09/06/07
PRI Asphalt Technologies, Inc.	BMC-004-02-01	TAS 100	04/04/07



NOA No.: 12-1226.01
Expiration Date: 10/18/17
Approval Date: 05/02/13
Page 2 of 7

APPROVED ASSEMBLIES:

System A-1: Victorian/Classic Shingle
Deck Type: Wood, Non-Insulated
Deck Description: New Construction or Re-Roof ¹⁵/₃₂" or greater plywood or wood plank.
Slope Range: 3": 12" or greater
Maximum Uplift Pressure: See Table A Below (See Limitation #2)

Deck Attachment: In accordance with applicable Building Code, but in no case shall it be less than 8d annular ring shank nails spaced at a distance listed below in **Table A**. In reroofing, where the deck is less than ¹⁹/₃₂" thick (Minimum ¹⁵/₃₂"). The above attachment method must be in addition to existing attachment.

Underlayment: Minimum underlayment shall be an ASTM D 226 Type II installed with a minimum 4" side-laps and 6" end-laps. Underlayment shall be fastened with corrosion resistant tin-caps and 1 1/4" annular ring-shank nails, spaced 6" o.c. at all laps and two staggered rows 12" o.c. in the field of the roll. Or, any Miami-Dade County Product Control Approved underlayment having a current NOA.

Fire Barrier Board: Any approved fire barrier having a current NOA. Refer to a current fire directory listing for fire ratings of this roofing system assembly as well as the location of the fire barrier within the assembly. See Limitation # 1.

Valleys: Valley construction shall be in compliance with Roofing Application Standard RAS 133 and with Berridge Manufacturing Company's current published installation instructions.

Metal Panels and Accessories: Install the "Victorian/Classic Shingle" including flashing penetrations, valleys, end laps and accessories in compliance "Berridge Manufacturing's" current, published installation instructions and in compliance with the minimum requirements detailed in Roofing Application Standard RAS 133.

Berridge Victorian/Classic Shingle shall be attached to the plywood substrate with a minimum of two corrosion resistant fasteners of sufficient length to penetrate through the sheathing a minimum of ³/₁₆", listed in **Table A**. Fasteners shall be placed in accordance with the detail outlined in **Table A** and fastener detail herein as follows:

Shingle shall be fastened with a minimum of two screws located in the detail outlined in **Table A**. The male end of the next shingle is tucked in the female end of the previous shingle to form a lock. The shingles shall be placed in a staggered pattern.

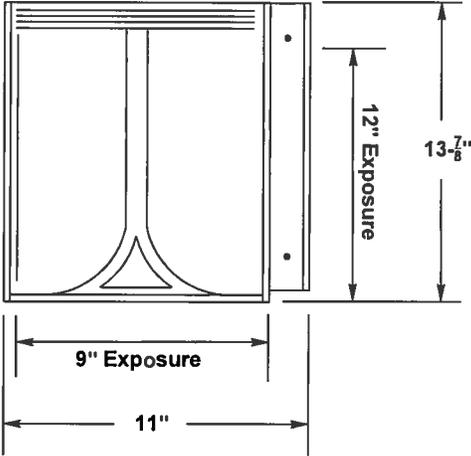
TABLE A			
MAXIMUM DESIGN PRESSURES			
	Field	Perimeter and Corner¹	Perimeter and Corner¹
Plywood Thickness (minimum)	15/32"	15/32"	19/32"
Plywood Fastener Spacing	6" o.c.	6" o.c.	3" o.c.
Fasteners	#12 panhead	#10-9	#10-9
Shingle Fastener Placement	Detail B	Detail C	Detail C
Maximum Design Pressure	-118.5 psf	-123.5 psf	-131 psf

1. Extrapolation shall not be allowed

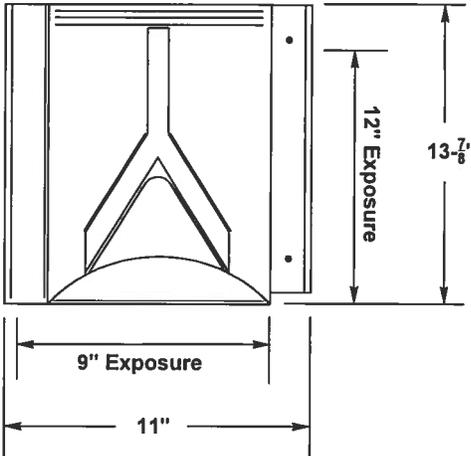


PROFILE DRAWING

DETAIL A



VICTORIAN SHINGLE



CLASSIC SHINGLE



OXFORD SHINGLE

BY CLASSIC METAL ROOFING SYSTEMS

Acceptable Replacement for Metal Shingle

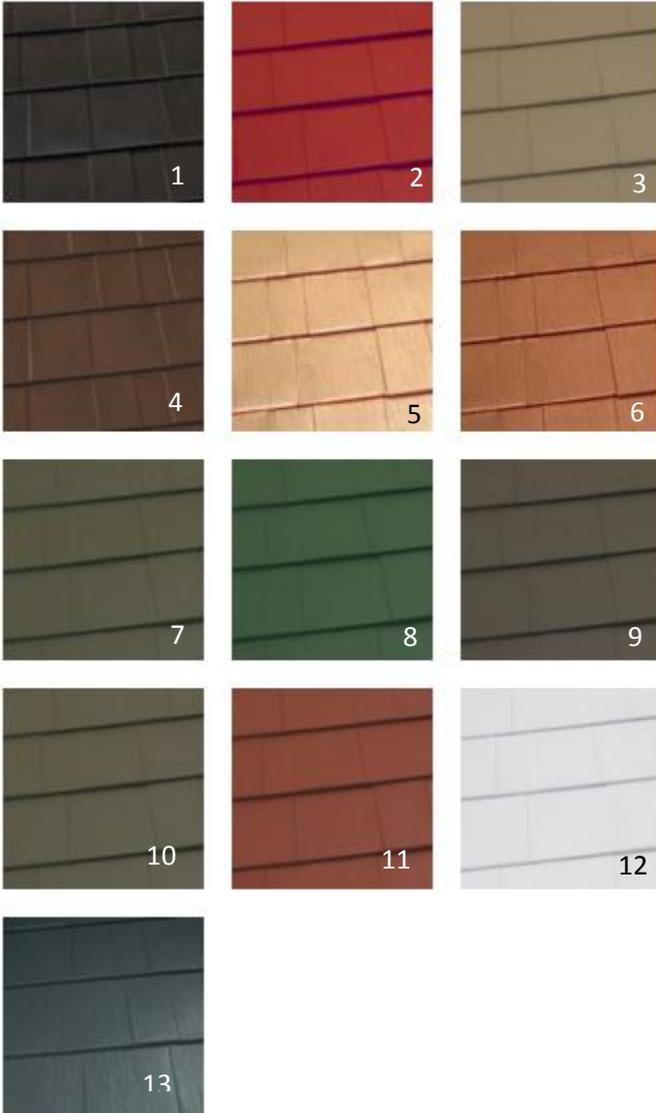
<https://www.classicmetalroofingsystems.com/product-info/styles/oxford-shingle/>



QUICK FACTS			
LOOK	STRENGTH	DURABILITY	GOING GREEN
Available in a variety of Kynar 500 and Hylar 5000 colors	Manufactured from heavy .024" thick 95% recycled content aluminum alloy	Sheds ice and snow faster than many other roofs	Energy Star Partner Sustainable
Concealed fasteners for ultimate protection	Has passed wind tests required by Dade County, Florida.	Will not absorb water or become waterlogged	"Cool Coatings" reflect radiant heat
Maintenance free: will not rust, crack, or rot	Will not burn and protects against flying embers from wildfires or chimneys	Will not rot or support insects	Made from 95% post-consumer recycled aluminum
Resists streaking and staining	Four-way interlocking panels hold tight	Fade and chalk resistant	Can usually be installed over existing roofs; allows you to invest in a better roof rather than landfill disposal of your old one
Works well for even harsh coastal applications		Lifetime Limited Warranty	

COLOR CHOICES

COLORS



1. Black
2. Brite Red
3. Buckskin
4. Caramel
5. Solid Copper
6. Copper Penny
7. Deep Charcoal
8. Forest Green
9. Mustang Brown
10. Shake Grey*
11. Terra Red
12. White
13. Vermont Slate

*Shake Grey is the acceptable color replacement for metal shingle

SPECIFICATIONS AND NOA

Oxford Shingle is an attractive aluminum roofing system designed to provide a beautiful, long-lasting, durable, and energy efficient alternative to traditional roofing materials like standard shingles and slate. The large interlocking panels minimize seams on the roof and feature all concealed fasteners.

Pre-Formed Flashings and Accessories:

- Hip / Ridge caps
- Self-cleaning valley
- Combination starter strip / drip edge
- Gable edge trim
- Sidewall flashing
- Vent pipe flashing
- Matching coil stock
- Color-matched butyl sealant
- Roof AquaGuard underlayments
- Aluminum screwshank nails
- Unique fastening clips
- Optional snow guards
- Available foam inserts for high traffic areas

Panel measurements: 60" x 12", 20 panels per 100 square feet;

Weight: 40 pounds per square

Oxford Shingles have a four-way interlock that locks each panel to the surrounding panels. The panels are secured to the roof using aluminum fastening clips. The clips, are attached to the panels' top locks, allow the panels to expand and contract as necessary. The product's low weight allows installation over many existing roofs.

Aluminum: .024" thick roofing panels; *Matching accessories are .019" or .024" thick aluminum*
All aluminum panels and accessories are made of 3105-H25 aluminum sheet (minimum tensile strength 26,000 psi; minimum yield strength 22,000 psi) or equivalent. The aluminum has minimum 95% recycled content.

Minimum Roof Pitch:< 3:12

Finish: Kynar 500 or Hylar 5000

Oxford Shingle is coated with a baked on protective primer and a Kynar 500 or Hylar 5000 top coat to provide a high quality finish. Kynar 500 and Hylar 5000 are trade names for polyvinylidene fluoride resin. The backs of the panels are finished with a protective clear coat. The finish includes reflective pigment to enhance the product's energy efficiency.

OXFORD SHINGLE

BEAUTIFUL. DURABLE. FOR LIFE.

OUR COMMITMENT TO GREEN

Classic Metal Roofing Systems is deeply committed to the stewardship of our natural resources and the environment.

- **We reuse and recycle** – Oxford Shingle is made from 95% post-consumer recycled aluminum. It is 100% recyclable.

- **We are energy-efficient** – Oxford Shingle's technologically advanced Kynar 500® or Hylar 5000® coatings – featuring Classic's Exclusive hi-R® Heat Barrier technology – help reduce energy costs by up to 25% and reduce attic heat gain by up to 34%.

- **We save for the future** – Oxford Shingle can, in most cases, be installed over existing roofing materials, saving the earth from being filled with used temporary roofing.

Ask about available cool roofing tax credits and utility incentives in your area. Call us at 800-543-8938.

WHAT DOES MCA CERTIFICATION MEAN?

The Metal Construction Association (MCA) Certified Metal Roofing Program was developed as a way to recognize metal roofing manufacturers who adhere to exacting quality control procedures, as well as products which utilize metals and coatings that meet high performance standards.

Classic Metal Roofing Systems is one of five metal roofing manufacturers from around the world manufacturing "Premium" products under the MCA program.

Because of the stringent requirements of the MCA Certified Metal Roofing Program, homeowners who choose Oxford Shingle can be assured they are purchasing a product of the highest quality which utilizes only "first quality" raw materials and does not include lower quality raw materials purchased in the "secondary" or "distressed" market. Using Oxford Shingle ensures long term satisfaction.



Proudly Manufactured in the USA.

Kynar 500® is a registered trademark of Arkema, Inc.
Hylar 5000® is a registered trademark of Solvay Solexis, Inc.



CLASSIC
METAL ROOFING SYSTEMS



CLASSIC
METAL ROOFING SYSTEMS

8510 Industry Park Drive | Piqua, OH 45356

Phone: 800-543-8938
Fax: 937-778-5116

www.classicroof.com
info@classicroof.com

It causes neighbors to stop and take a closer look. It protects your home with unparalleled strength. It understands that a cleaner planet isn't just wishful thinking, it's a necessity. And it will be around for generations. Beautiful. Durable. And definitely for life.

OXFORD SHINGLE

VISUALLY CAPTIVATING. AGGRESSIVELY PROTECTIVE. PASSIONATELY DESIGNED.

Oxford Shingle is in a class by itself. It gives your home the beauty, durability, energy efficiency, and innovative design that no other roofing material can live up to. Oxford Shingle is designed for peak performance using only first quality aluminum, 21st century coatings, and passionate design to protect and enhance the beauty of your home.

A LIFETIME OF INSPIRATION.

There's not much left in the world that can boast a lifetime of beauty, strength, and energy efficiency like Oxford Shingle. Classic's investment-grade aluminum is combined with advanced paint systems and our exclusive hi-R* Heat Barrier Coating to reduce your home's carbon footprint. Homeowners can save up to 25% on their energy bills with Oxford Shingle. A Classic roof works hard so your climate control system works easier. In the end, your home uses less energy which keeps your costs down and reduces the strain on our nation's energy consumption.

At Classic Metal Roofing Systems, we place our 30+ years of experience, innovation, and commitment behind every roof we make. We believe in the quality of materials and design so much that we back every shingle with our Lifetime/40 Year Transferable Limited Warranty. Simply put, Oxford Shingle will protect your home for as long as you own it and new homeowners for up to 40 years from the point of installation.

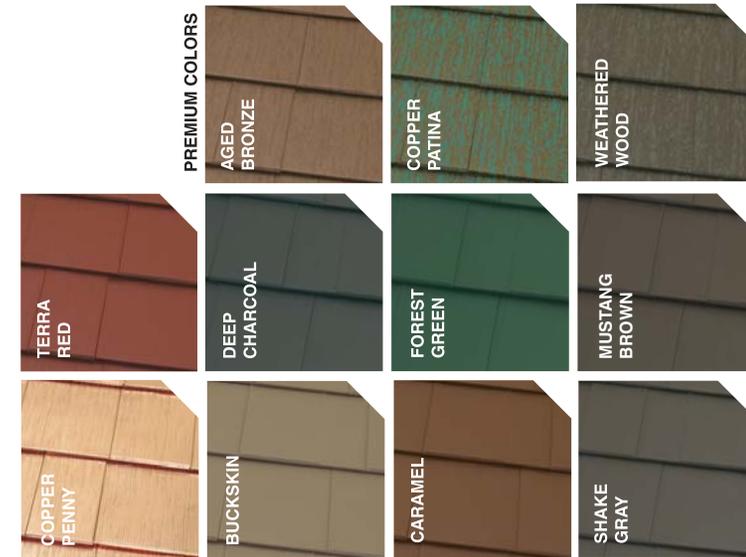


THE BLENDING OF STYLE AND SUBSTANCE.

- Lifetime/40 Year Transferable Limited Warranty
- Classic's exclusive hi-R* Heat Barrier Coating reflects radiant heat and reduces energy costs by up to 25%
- Made from 95% post-consumer recycled content
- Produced from rustproof aluminum
- Wide range of colors to complement your home
- Low weight for easy installation over existing roofs
- Kynar 500® or Hylar 5000® coatings protect against peeling, chalking, cracking, and fading
- Resists water, rot, and insects
- Fully recyclable and environmentally friendly
- Adds value to your home

BEAUTIFUL. DURABLE. FOR LIFE.

Color. To create. To revive. To make it truly your own.



**Brite Red, Black, White, and Solid Copper also available. Actual color may differ. Ask your Independent Classic Dealer for true color samples.*

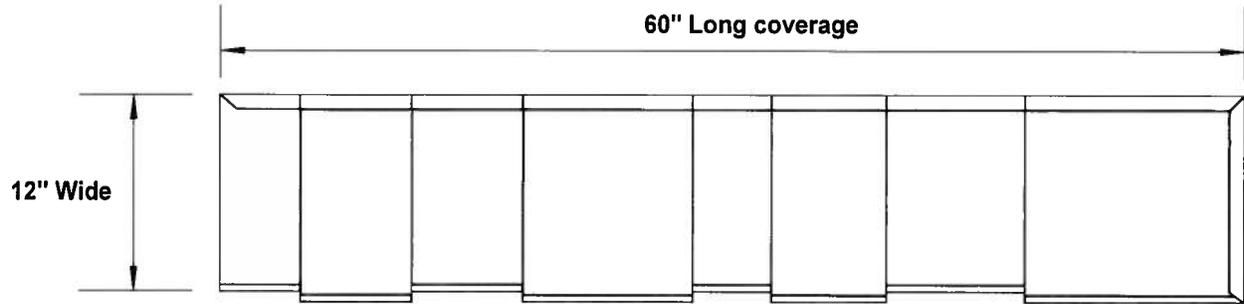


CLASSIC
METAL ROOFING SYSTEMS

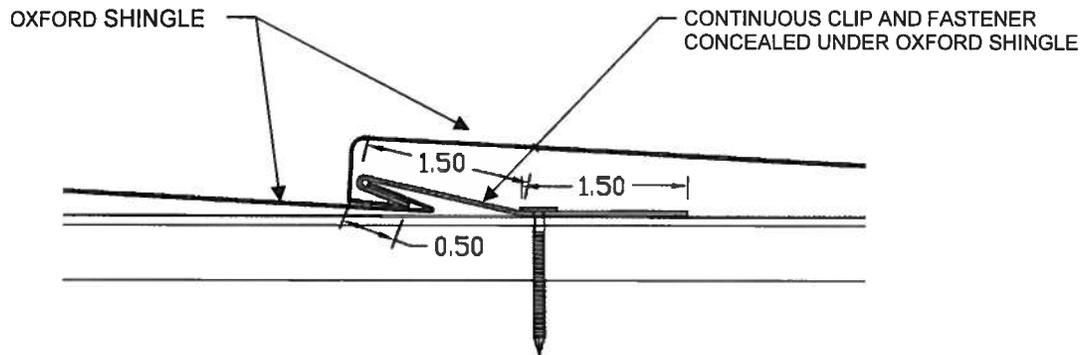
www.classicroof.com

PROFILE DRAWING

OXFORD SHINGLE



CONTINUOUS CLIP



END OF THIS ACCEPTANCE



NOA No.: 14-0325.08
Expiration Date: 07/29/19
Approval Date: 06/26/14
Page 5 of 5

MetalWorks® StoneCrest® Tile Steel Shingles

BY TAMKO BUILDING PRODUCTS

Acceptable Replacement for Metal Shingles

<http://www.tamko.com/ResidentialRoofing/SteelShingles/MetalWorksStonecrestTile>



QUICK FACTS			
G-90 steel construction Special coating process resists dirt and environmental aging. Coating system with Kynar 500®/Hylar 5000®	Four-way locking system for enhanced performance Lightweight compared to traditional roofing products	100% recyclable and made from 37% to 89% recycled content Energy Star Qualified	Custom color matching For a color requirement that does not appear in Standard Colors, please contact TAMKO® to inquire about our Special Color Program



The Many Beautiful Faces of Metal.



Offering the classic looks of slate, tile and wood for commercial and residential roofs.

MetalWorks Steel Shingles

MetalWorks® Steel Shingles pair the latest looks with trusted G-90 steel. And whether it's the sleek look of tile, the dramatic look of wood or the classic look of slate, MetalWorks products provide the right shingle for any taste. The shingles are available in a full array of colors, all of which are ENERGY STAR® qualified.

A beautiful choice for a wide range of residential and commercial applications.

Features & Benefits

G-90 Steel Construction

Recognized as the industry standard

KYNAR 500®/HYLAR 5000® Finish

A hardy, resin-based coating

Can Be Used for Reroofing Applications

Install over up to two layers of asphalt shingles*

Environmentally Conscious

100% recyclable

50-year Limited Warranty†

Shingles begin to age as soon as they are exposed to nature, and buildings experience aging factors differently. Because it's difficult to predict how long shingles will last, TAMKO offers a 50-year Limited Warranty on MetalWorks shingles.

- 25-year Full Start Period ▪
- 30-year Finish Limited Warranty ▪
- 50-year Limited Warranty Coverage for Winds up to 110 mph ▪

Four-way Locking System

Utilized for effective installation

Energy Star® Qualified

*Check your local building code.

† To obtain a copy of TAMKO's Limited Warranty, visit us online at tamko.com or call us at 1-800-641-4691.

StoneCrest® Slate Steel Shingles

Create a dramatic look that closely replicates the random finish of natural slate. The double-stamped manufacturing process creates stunning beauty.

StoneCrest Slate
Vermont Blue



StoneCrest® Tile Steel Shingles

Create the distinctive look of smooth, uniform tile. For those who appreciate a contemporary and refined appearance.

StoneCrest Tile
Quaker Green



AstonWood® Steel Shingles

Combine the warmth and appeal of cedar shingles with galvanized steel to produce a roofing product that emulates the rich, deep, hand-hewn texture of wood.

AstonWood
Timber Brown



Colors

SS = StoneCrest Slate

AW = AstonWood

ST = StoneCrest Tile

Custom Colors

For a color requirement that does not appear in Standard Colors, please contact TAMKO to inquire about our Special Color Program.

SEQUOIA RED • SS • AW •	VERMONT BLUE • SS • AW • ST •	TIMBER BROWN • AW •
FOREST GREEN • AW •	SIERRA SLATE GREY • SS • AW • ST •	RIVER ROCK BROWN • SS • AW •
BRITE RED • AW •	QUAKER GREEN • SS • ST •	CANYON COPPER BRONZE • AW •

NOTE: REPRODUCTION OF THESE COLORS IS AS ACCURATE AS OUR PRINTING WILL PERMIT. TAMKO® RECOMMENDS VIEWING AN ACTUAL ROOF INSTALLATION PRIOR TO FINAL COLOR SELECTION FOR THE FULL IMPACT OF COLOR BLENDING AND PATTERNS.



TW Metal & Tile Underlayment

Used for application under metal roofs, this 75 mil self-adhering underlayment features a fiberglass mat, rubberized asphalt, polymer film surfacing and a split treated release film. The underlayment is UL Classified as a Prepared Roofing Accessory and ICC-ES ESR-1252.

StoneCrest Slate
River Rock Brown



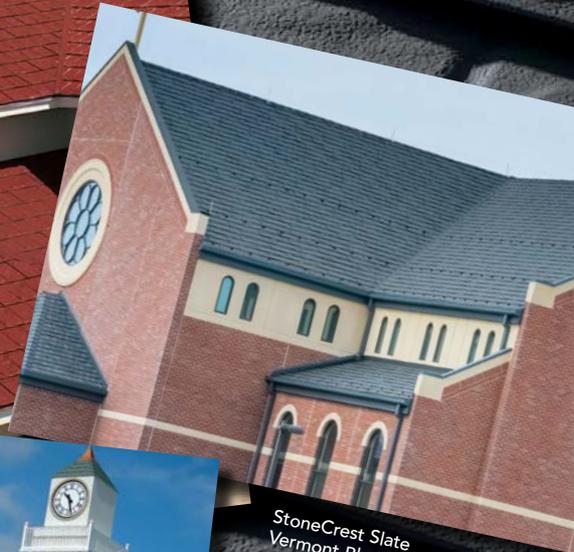
Striking Modern Appeal.
And ENERGY STAR® qualified.



StoneCrest Slate
Sierra Slate Grey



StoneCrest Slate
Sequoia Red



StoneCrest Slate
Vermont Blue



StoneCrest Slate
Quaker Green

METALWORKS® Steel shingles combine the classic and contemporary looks of slate, tile and wood with ENERGY STAR qualification.

All MetalWorks shingles are ENERGY STAR qualified and listed by the Cool Roof Rating Council (CRRC).



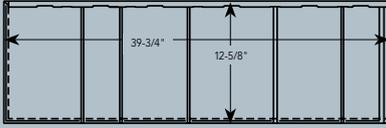
ENERGY STAR is a joint program of the U.S. Environmental Protection Agency and the U.S. Department of Energy. Consult your product manufacturer, roofing contractor or call 1-888-STAR-YES (1-888-782-7937) for more information. ENERGY STAR is only available in the United States.



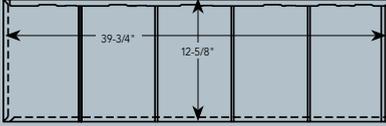
The Cool Roof Rating Council (CRRC) is an independent nonprofit organization that lists a third-party rating system for the radiative properties of roof surfacing materials.

MetalWorks® Steel Shingles

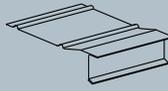
AstonWood® Steel Shingle
30 pc. per carton/98.4 sq. ft. per carton



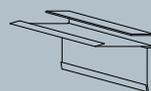
StoneCrest® Slate and StoneCrest® Tile Steel Shingles
15 pc. per carton/49.2 sq. ft. per carton



Metal Accessories



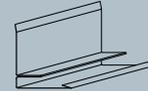
Starter/Eave Flashing
10 pc. per carton/10' length



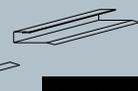
Gable/Rake Flashing
10 pc. per carton/10' length



Valley
5 pc. per carton/10' length



Sidewall Flashing
5 pc. per carton/10' length



J-Channel
10 pc. per carton/
10' length



Hip Cap Tapered
StoneCrest or AstonWood
50 pc. per carton/1' length



12" Ridge Cap
25 pc. per carton/
1' length



Trim Coil
22-1/4" x 50'



Clip
400 per carton/
100+/- per square



Snow Guard
100 pc. per carton



Colored Screws
0.5-lb. bag of 50 pc.

Non-Metal Accessories



Hip & Ridge Seal
4" x 50'



Touch-up Paint
2-oz. bottle

STONECREST SLATE

- Painted galvanized steel
- Minimum slope: 3" in 12"
- Shingle width—overall: 39-3/4"
- Shingle height—overall: 12-5/8"
- Shingle exposure: 12"
- Shingles per box: 15 panels
- Coverage per box: 49.2 sq. ft. (approx. 1/2 square)
- Shingle material: 28 gauge nominal 0.0162" (0.066802 cm) thickness, including G-90 galvanization and paint coatings. Exterior finish is fluoropolymer (PVDF) with anticorrosive primer, 1 mil dry film thickness. Interior finish is a wash coat with anticorrosive primer, 0.6 mil dry film thickness.
- Clip: 1-1/4" wide x 2-1/8" long x 0.20" deep
- Clip material: 0.015" thick, G-90 galvanized steel

ASTONWOOD

- Painted galvanized steel
- Minimum slope: 3" in 12"
- Shingle width—overall: 39-3/4"
- Shingle height—overall: 12-5/8"
- Shingle exposure: 12"
- Shingles per box: 30 panels
- Coverage per box: 98.4 sq. ft. (approx. 1 square)
- Shingle material: 30 gauge nominal 0.0135" (0.03429 cm) thickness, including G-90 galvanization and paint coatings. Exterior finish is fluoropolymer (PVDF) with anticorrosive primer, 1 mil dry film thickness. Interior finish is a wash coat with anticorrosive primer, 0.6 mil dry film thickness.
- Clip: 1-1/4" wide x 2-1/8" long x 0.20" deep
- Clip material: 0.015" thick, G-90 galvanized steel

STONECREST TILE

- Painted galvanized steel
- Minimum slope: 3" in 12"
- Shingle width—overall: 39-3/4"
- Shingle height—overall: 12-5/8"
- Shingle exposure: 12"
- Shingles per box: 15 panels
- Coverage per box: 49.2 sq. ft. (approx. 1/2 square)
- Shingle material: 28 gauge nominal 0.0162" (0.066802 cm) thickness, including G-90 galvanization and paint coatings. Exterior finish is fluoropolymer (PVDF) with anticorrosive primer, 1 mil dry film thickness. Interior finish is a wash coat with anticorrosive primer, 0.6 mil dry film thickness.
- Clip: 1-1/4" wide x 2-1/8" long x 0.20" deep
- Clip material: 0.015" thick, G-90 galvanized steel

Building Products for the Professional

Information included in this brochure was current at the time of printing. To obtain a copy of the most current version of this brochure or TAMKO's Limited Warranty, visit us online at tamko.com or call us at 1-800-641-4691.

Roofs featured on cover from left to right are AstonWood Timber Brown, StoneCrest Slate Sierra Slate Grey and StoneCrest Tile Vermont Blue.

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Kynar 500 is a registered trademark of Arkema, Inc.
Hylar 5000 is a registered trademark of Solvay Solexis, Inc.
ENERGY STAR is a registered trademark of the U.S. Environmental Protection Agency.

71949 0815



P.O. Box 1404 • Joplin, MO 64802-1404
1-800-641-4691
tamko.com



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Product Approval
USER: Public User

License efficiently. Regulate fairly.

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 Application Detail

OFFICE OF THE SECRETARY

FL #	FL3901-R7				
Application Type	Revision				
Code Version	2014				
Application Status	Approved				
Comments					
Archived	<input type="checkbox"/>				
Product Manufacturer	TAMKO Building Products, Inc.				
Address/Phone/Email	PO Box 1404 Joplin, MO 64802 (417) 624-6644 Ext 2305 kerri_eden@tamko.com				
Authorized Signature	Kerri Eden kerri_eden@tamko.com				
Technical Representative	Kerri Eden				
Address/Phone/Email	PO Box 1404 Joplin, MO 64802 (417) 624-6644 Ext 2305 kerri_eden@tamko.com				
Quality Assurance Representative					
Address/Phone/Email					
Category	Roofing				
Subcategory	Metal Roofing				
Compliance Method	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input type="checkbox"/> Evaluation Report - Hardcopy Received				
Florida Engineer or Architect Name who developed the Evaluation Report	Robert J.M. Nieminen				
Florida License	PE-59166				
Quality Assurance Entity	UL LLC				
Quality Assurance Contract Expiration Date	01/29/2018				
Validated By	John W. Knezevich, PE <input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received				
Certificate of Independence	FL3901_R7_COI_2015_01_COI_Nieminen.pdf				
Referenced Standard and Year (of Standard)	<table border="0"> <tr> <td>Standard</td> <td>Year</td> </tr> <tr> <td>UL 1897</td> <td>2004</td> </tr> </table>	Standard	Year	UL 1897	2004
Standard	Year				
UL 1897	2004				
Equivalence of Product Standards Certified By					

Sections from the Code

Product Approval Method	Method 1 Option D
Date Submitted	04/24/2015
Date Validated	04/27/2015
Date Pending FBC Approval	05/03/2015
Date Approved	06/23/2015

Summary of Products

FL #	Model, Number or Name	Description
3901.1	MetalWorks Steel Roofing Systems	Steel Roofing Shingles
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: +N/A/-99.0 Other: 1.) The design pressure noted on this application relates to one particular assembly. Refer to ER Appendix for other systems and deck types. 2.) Refer to ER Section 5 for other limits of use.		Installation Instructions FL3901_R7_II_2015_04_FINAL_A1_ER_TAMKO_METAL_RFG_FL3901-R7.pdf Verified By: Robert J. M. Nieminen PE - 59166 Created by Independent Third Party: Yes Evaluation Reports FL3901_R7_AE_2015_04_FINAL_ER_TAMKO_METAL_RFG_FL3901-R7.pdf Created by Independent Third Party: Yes

[Back](#) [Next](#)

Contact Us :: 1940 North Monroe Street, Tallahassee FL 32399 Phone: 850-487-1824

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Product Approval Accepts:





EXTERIOR RESEARCH & DESIGN, LLC.

Certificate of Authorization #9503

353 Christian Street

Oxford, CT 06478

PHONE: (203) 262-9245

FAX: (203) 262-9243

EVALUATION REPORT

TAMKO Building Products, Inc.

PO Box 1404

Joplin, MO 64802

Evaluation Report T40900.04.12-R3

FL3901-R8

Date of Issuance: 04/04/2012

Revision 3: 06/08/2015

SCOPE:

This Evaluation Report is issued under Rule 61G20-3 and the applicable rules and regulations governing the use of construction materials in the State of Florida. The documentation submitted has been reviewed by Robert Nieminen, P.E. for use of the product under the Florida Building Code. The product described herein has been evaluated for compliance with the 5th Edition (2014) Florida Building Code sections noted herein.

DESCRIPTION: MetalWorks[®] Steel Roofing Systems

LABELING: Labeling shall be in accordance with the requirements the Accredited Quality Assurance Agency noted herein.

CONTINUED COMPLIANCE: This Evaluation Report is valid until such time as the named product(s) changes, the referenced Quality Assurance documentation changes, or provisions of the Code that relate to the product change. Acceptance of this Evaluation Report by the named client constitutes agreement to notify Robert Nieminen, P.E. if the product changes or the referenced Quality Assurance documentation changes. Trinity|ERD requires a complete review of this Evaluation Report relative to updated Code requirements with each Code Cycle.

ADVERTISEMENT: The Evaluation Report number preceded by the words "Trinity | ERD Evaluated" may be displayed in advertising literature. If any portion of the Evaluation Report is displayed, then it shall be done in its entirety.

INSPECTION: Upon request, a copy of this entire Evaluation Report shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at the request of the Building Official.

This Evaluation Report consists of pages 1 through 5, plus a 15-page Appendix.

Prepared by:

Robert J.M. Nieminen, P.E.

Florida Registration No. 59166, Florida DCA ANE1983



The facsimile seal appearing was authorized by Robert Nieminen, P.E. on 06/08/2015. This does not serve as an electronically signed document. Signed, sealed hardcopies have been transmitted to the Product Approval Administrator and to the named client

CERTIFICATION OF INDEPENDENCE:

1. Exterior Research & Design, LLC. d/b/a Trinity | ERD does not have, nor does it intend to acquire or will it acquire, a financial interest in any company manufacturing or distributing products it evaluates.
2. Exterior Research & Design, LLC. d/b/a Trinity | ERD is not owned, operated or controlled by any company manufacturing or distributing products it evaluates.
3. Robert Nieminen, P.E. does not have nor will acquire, a financial interest in any company manufacturing or distributing products for which the evaluation reports are being issued.
4. Robert Nieminen, P.E. does not have, nor will acquire, a financial interest in any other entity involved in the approval process of the product.
5. This is a building code evaluation. Neither Trinity|ERD nor Robert Nieminen, P.E. are, in any way, the Designer of Record for any project on which this Evaluation Report, or previous versions thereof, is/was used for permitting or design guidance unless retained specifically for that purpose.

ROOFING SYSTEMS EVALUATION:

1. SCOPE:

Product Category: Roofing
Sub-Category: Non-Structural Metal Roofing

Compliance Statement: MetalWorks® Steel Roofing Systems, as produced by TAMKO Building Products, Inc., have demonstrated compliance with the following sections of the Florida Building Code through testing in accordance with the following Standards. Compliance is subject to the Installation Requirements and Limitations / Conditions of Use set forth herein.

2. STANDARDS:

<u>Section</u>	<u>Property</u>	<u>Standard</u>	<u>Year</u>
1504.3.1	Wind	UL 1897	2004

3. REFERENCES:

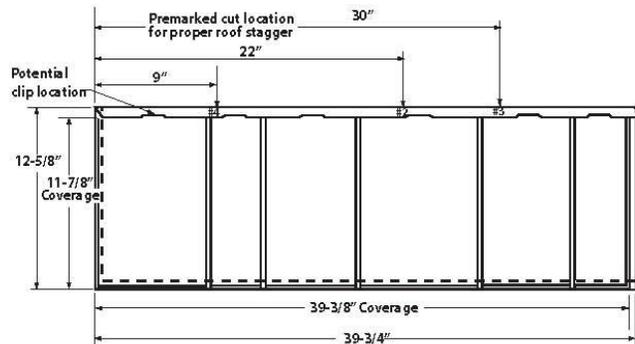
<u>Entity</u>	<u>Examination</u>	<u>Reference</u>	<u>Date</u>
UL (TST 1740)	Wind Uplift	06NK25561	02/16/2007
UL (TST 1740)	Wind Uplift	06NK25561	02/20/2007
UL (TST 1740)	Wind Uplift	05NK16847	02/28/2007
ICC-ES (EVL 2369)	IBC Compliance	ESR-1129	06/01/2011
Metal suppliers	Material Standards	Mill Certs	12/28/2011
UL (QUA 9625)	Quality Assurance	Service Confirmation	Exp. 01/29/2018

4. PRODUCT DESCRIPTION:

The following MetalWorks® Steel Roofing Shingles are mechanically attached to Approved substrate, as outlined in the Limitations / Conditions of Use herein.

- **AstonWood® Steel Shingles (30 gauge)** are 0.0135-inch thick, pressure-formed, coated sheet-steel panels with factory-formed interlocking edges that are mechanically attached over approved roof decks. AstonWood Steel Shingles (30 gauge) measure nominal 12-⁵/₈ x 39-³/₄ inches with a nominal installed weight of 0.61 lbs/ft² and a textured surface to resemble wood shakes.

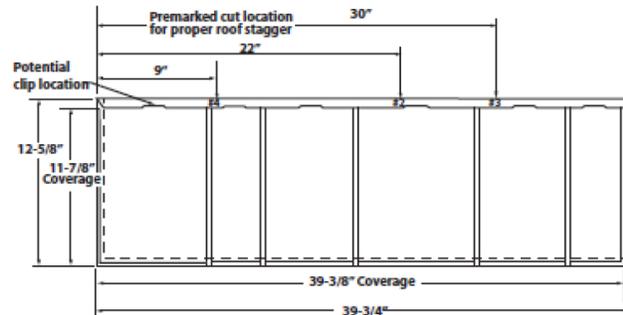
Shingle Size: 12-5/8" x 39-3/4"
 Exposure: 12"
 Coverage per Box: 98.4 sq ft (approx. 1 sq)
 Shingles per Box: 30
 Shingles per Square: 30
 Weight per Shingle: 2 lbs
 Weight per Square: 61 lbs



Shingle material: Nominal 0.0135" thickness, including G-90 galvanization and paint coatings.
 Exterior finish: Fluoropolymer (PVDF) with anti-corrosive primer, 1 mil dry film thickness.
 Interior finish: Wash coat with anti-corrosive primer, 0.6 mil dry film thickness.
 Clip: 1-1/4" wide x 2-1/8" long x 1/5" deep
 Clip Material: 0.015" thick, G-90 galvanized steel

- **AstonWood® Steel Shingles (28 gauge)** are 0.0162-inch thick, pressure-formed, coated sheet-steel panels with factory-formed interlocking edges that are mechanically attached over approved roof decks. AstonWood Steel Shingles (28 gauge) measure nominal 12^{-5/8} x 39^{-3/4} inches with a nominal installed weight of 0.74 lbs/ft² and a textured surface to resemble wood shakes.

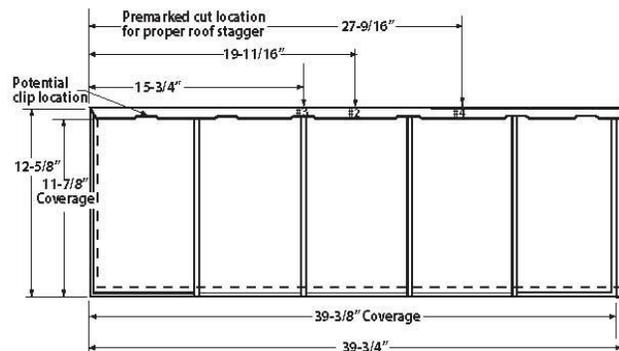
Shingle size: 12-5/8" x 34-3/4"
 Exposure: 12"
 Coverage per Box: 49.2 sq ft
 (approx. 1/2 sq)
 Shingles per Box: 15
 Shingles per Square: 30
 Weight per Shingle: 2.5 lbs
 Weight per Square: 74 lbs



Shingle material: Nominal 0.0162" thickness, including G-90 galvanization and paint coatings
 Exterior Finish: Fluoropolymer (PVDF) with anti-corrosive primer, 1 mil dry film thickness
 Interior Finish: Wash coat with anti-corrosive primer, 0.6 mil dry film thickness
 Clip: 1-1/4" wide x 2-1/8" long x 1/5" deep
 Clip Material: 0.015" thick, G-90 galvanized steel

- **Stonecrest® Slate Steel Shingles** are 0.0162-inch thick, pressure-formed, coated sheet-steel panels with factory-formed interlocking edges that are mechanically attached over approved roof decks. Stonecrest Slate Steel Shingles measure nominal 12^{-5/8} x 39^{-3/4} inches with a nominal installed weight of 0.74 lbs/ft² and a textured surface to resemble slate.

Shingle Size: 12-5/8" x 39-3/4"
 Exposure: 12"
 Coverage per Box: 49.2 sq ft
 (approx. 1/2 sq)
 Shingles per Box: 15
 Shingles per Square: 30
 Weight per Shingle: 2.5 lbs
 Weight per Square: 74 lbs

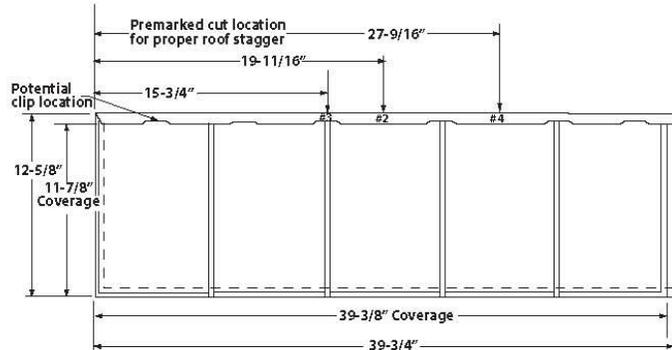


Shingle material: Nominal 0.0162" thickness, including G-90 galvanization and paint coatings.
 Exterior finish: Fluoropolymer (PVDF) with anti-corrosive primer, 1 mil dry film thickness.
 Interior finish: Wash coat with anti-corrosive primer, 0.6 mil dry film thickness.
 Clip: 1-1/4" wide x 2-1/8" long x 1/5" deep
 Clip Material: 0.015" thick, G-90 galvanized steel

- **Stonecrest® Tile Steel Shingles** are 0.0162-inch thick, pressure-formed, coated sheet-steel panels with factory-formed interlocking edges that are mechanically attached over approved roof decks. Stonecrest Tile Steel Shingles measure nominal 12-⁵/₈ x 39-³/₄ inches with a nominal installed weight of 0.74 lbs/ft² and a textured surface to resemble tile.

Shingle Size: 12-5/8" x 39-3/4"
 Exposure: 12"
 Coverage per Box: 49.2 sq ft
 (approx. 1/2 sq)

Shingles per Box: 15
 Shingles per Square: 30
 Weight per Shingle: 2.5 lbs
 Weight per Square: 74 lbs



Shingle material: Nominal 0.0162" thickness, including G-90 galvanization and paint coatings.
 Exterior finish: Fluoropolymer (PVDF) with anti-corrosive primer, 1 mil dry film thickness.
 Interior finish: Wash coat with anti-corrosive primer, 0.6 mil dry film thickness.
 Clip: 1-1/4" wide x 2-1/8" long x 1/5" deep
 Clip Material: 0.015" thick, G-90 galvanized steel

5. LIMITATIONS:

- 5.1 This is a building code evaluation. Neither Trinity|ERD nor Robert Nieminen, P.E. are, in any way, the Designer of Record for any project on which this Evaluation Report, or previous versions thereof, is/was used for permitting or design guidance unless retained specifically for that purpose.
- 5.2 This evaluation report is not for use in HVHZ.
- 5.3 Fire Classification is not part of this Evaluation Report; refer to current Approved Roofing Materials Directory for fire ratings of this product.
- 5.4 The minimum roof slope per manufacturer's installation instructions is 3:12. Slope shall not be less than that set forth in FBC 1507.5.2.
- 5.4.1 For roof slopes $3:12 \leq \theta < 4:12$, TAMKO requires use of TW Metal & Tile Underlayment or TW Underlayment over the entire roof deck.
- 5.5 Sheet materials used to produce the panels shall comply with FBC Section 1507.5.5.
- 5.6 The roof system evaluation herein pertains to above-deck roof components. Roof decks and structural members shall be in accordance with FBC requirements to the satisfaction of the AHJ. Load resistance of the roof deck shall be documented through proper codified and/or FBC Approval documentation.
- 5.7 Appendix 1 outlines attachment requirements for design wind pressure resistance. "MDP" = Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads. Refer to FBC 1609 for determination of design wind pressures. The MDP for the selected assembly shall meet or exceed the design wind pressure requirements for the project for each pressure zone of the roof.
- 5.7.1 Reference to "OK" indicates the system performance exceeds requirements for that pressure zone. Reference to "NO" indicates additional testing or rational analysis by a qualified design professional is required to address that particular pressure zone.
- 5.8 For existing roof decks, fasteners shall be tested in the existing deck for withdrawal resistance. A qualified design professional shall review the data for comparison to the minimum requirements for the system.
- 5.9 Perimeter and ridge details shall be designed and installed to resist the wind load requirements of FBC Chapter 16.
- 5.10 All products in the roof assembly shall have quality assurance audit in accordance with the F.A.C. Rule 61G20-3.

6. INSTALLATION:

- 6.1 MetalWorks[®] Steel Roofing Shingles shall be installed in accordance with TAMKO Building Products, Inc. published installation instructions, subject to the Limitations / Conditions of Use noted herein.
- 6.2 System attachment requirements for wind load resistance are set forth in Appendix 1. "MDP" = Maximum Design Pressure is the result of testing for wind load resistance based on allowable wind loads, and reflects the ultimate passing pressure divided by 2 (the 2 to 1 margin of safety per FBC 1504.9 has already been applied). Refer to FBC 1609 for determination of design wind loads.

7. BUILDING PERMIT REQUIREMENTS:

As required by the Building Official or Authority Having Jurisdiction in order to properly evaluate the installation of this product.

8. MANUFACTURING PLANTS:

Contact the named QA entity for manufacturing facilities covered by F.A.C. Rule 61G20-3 QA requirements.

9. QUALITY ASSURANCE ENTITY:

UL LLC – QUA9625; (847) 664-3281

- THE 15-PAGES THAT FOLLOW FORM PART OF THIS EVALUATION REPORT -



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City Of Lake Worth
Department for Community Sustainability
Planning, Zoning and Historic Preservation Division
1900 Second Avenue North · Lake Worth · Florida 33461 · Phone: 561-586-1687

MEMORANDUM DATE: March 2, 2016

AGENDA DATE: March 9, 2016

TO: Chair and Members of the Historic Resources Preservation Board

RE: **22 South M Street**

FROM: Aimee N. Sunny, Preservation Planning Coordinator
Department for Community Sustainability

TITLE: **HRPB Project Number 16-00100034:** Consideration of a Certificate of Appropriateness (COA) for exterior alterations for the single-family residence located at **22 South M Street**; PCN# 38-43-44-21-15-025-0030. The subject property was constructed c.1925 and is a contributing resource within the Old Town Local Historic District.

OWNER/APPLICANT: David and Gissela Torrella
22 South M Street
Lake Worth, FL 33460

BACKGROUND:

The structure at 22 South M Street was constructed c.1925 in a Frame Vernacular style. The property has public frontage on South M Street. Based on the information in the City's property file, the structure has had many alterations over time including the installation of asbestos siding in 1945, window replacement from wood to aluminum awning in 1977, and several different roof materials including tar paper, rolled composite, and asphalt shingle. The property file also indicates that the structure originally had a front and rear porch, although the rear porch has since been enclosed. A bedroom was added to the rear of the structure in 1961. Overall, the building retains a good degree of historic integrity of location, setting, materials, and design.

The structure is currently being used as a single-family residence, however it is located in the Downtown (DT) zoning district, and the Applicant hopes to open a yoga and wellness studio in the future.

REQUEST:

The Applicant has submitted plans and documentation for exterior alterations as follows:

- 1) Replace the aluminum awning windows with Eastern Architectural Systems impact single-hung white aluminum windows with a 6/1 divided light configuration. Per the plans and window schedule submitted, window #1, 3, 4, 6, and 8.

- 2) Replace the existing wood front door (opening #2) and the jalousie side door (opening #7) with new Therma-Tru 15-light aluminum impact single French doors.
- 3) Remove window #5 on the south elevation, and install a 32" wide 15-light aluminum impact single French door in the same opening.
- 4) Reconfigure the rear enclosed porch, and install new impact 6/1 single-hung windows and a 15-light aluminum impact French door, opening #9, 10, 11, 12, and 13.
- 5) Reconfigure the north elevation to remove the existing paired windows and install new 60"x75" fixed glass windows with 15 divided lights.

COMPREHENSIVE PLAN CONSISTENCY:

It is the opinion of Staff that portions of the project, as proposed, are not consistent with the Comprehensive Plan goals and objectives concerning historic preservation and housing. The Applicant is proposing to change existing window openings into doors and large fixed windows, which will have an adverse effect on the historic integrity of the property. Specifically, the request is in conflict with these objectives:

Objective 3.2.5: To encourage the identification of historically significant housing, and to promote its preservation and rehabilitation as referenced by the Surveys of Historic Properties conducted for the City of Lake Worth.

Policy 3.2.5.1: Properties of special value for historic, architectural, cultural or aesthetic reasons will be restored and preserved through the enforcement of the City's Historic Preservation Ordinance to the extent feasible.

ANALYSIS:

Zoning

The proposed alterations are not in conflict with the development requirements in the City's Zoning Code.

Historic Preservation

Staff has reviewed the documentation and materials provided in this application and outlined the applicable guidelines and standards found in the City's Historic Preservation Ordinance, detailed in Attachment 1 – Decision Criteria.

The National Park Service and Secretary of the Interior's Standards have very specific criteria regarding replacement of historic materials. Specifically Standards 2, 5, and 6 apply in this situation:

Standard 2 - The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard 5 - Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Standard 6 - Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design,

color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

It is the opinion of Staff that portions of the project as proposed are not compatible with the review criteria set forth in the City's Land Development Regulations, Historic Preservation Ordinance, Section 23.5-4(k).

Staff is in support of the request to replace the non-original aluminum awning windows with new 6/1 single-hung aluminum windows, as it is in keeping with the Standards and the original design of the structure. Staff also supports the request to reconfigure the rear previously-enclosed porch area, as the current configuration is not a character-defining feature of the property and has been altered over time.

Based on the Standards and the City's LDRs, the wood front door should be repaired rather than replaced if possible. If the level of deterioration is such that replacement is necessary, the proposed 15-light single French door is in keeping with the architectural style and period of construction, and would be an appropriate replacement. The existing single-light jalousie door is not original, and the proposed 15-light single French door is in harmony with the Standards and the Code.

The request to replace window #5 with a new 15-light single French door will alter the appearance of the opening, and the balance of the windows on the south elevation. Staff would recommend that this opening be replaced with a 6/1 single hung window, rather than a door.

The request to reconfigure the north elevation as proposed is not in keeping with the Standards or the City's LDRs, as the existing paired window configuration is a character-defining feature of the property and frame vernacular construction. The proposed 60"x75" fixed windows will substantially alter the historic appearance and integrity of the structure and the distinctive appearance of the paired windows. Staff recommends that the existing windows be replaced with new 6/1 single-hung windows, that conform to the existing openings. If the Board feels that larger openings are appropriate on the north elevation, Staff would suggest paired 15-light French doors, installed in the existing openings, as this configuration would have a less adverse effect on the structure than the current fixed window proposal.

Public Comment

At the time of publication of this report, Staff has not received any public comment regarding this project.

CONSEQUENT ACTION:

Approve the application; approve the application with conditions; continue the hearing to a date certain to request additional information; or deny the application.

RECOMMENDATION:

Staff recommends that the Board approve the application with the following conditions:

- 1) Window openings #1, 3, 4, 5, 8, 15, 16, 17, and 18 shall be replaced with 6/1 aluminum impact single-hung windows, installed in the existing openings. All existing trim shall remain.
- 2) Window opening #6 shall be replaced with a 6-light casement or hopper style window.
- 3) The existing front door shall be repaired rather than replaced. Door #7 shall be replaced with a 15-light single French door, as proposed by the Applicant.

- 4) The enclosed porch on the east elevation shall be reconfigured as shown on the proposed east elevation drawing.
- 5) All divided light patterns shall be created by using exterior raised applied ogee muntins. No flat or internal muntins shall be allowed. The proper divided light pattern shall be reviewed by Staff at permitting. Reflective glass shall not be used.

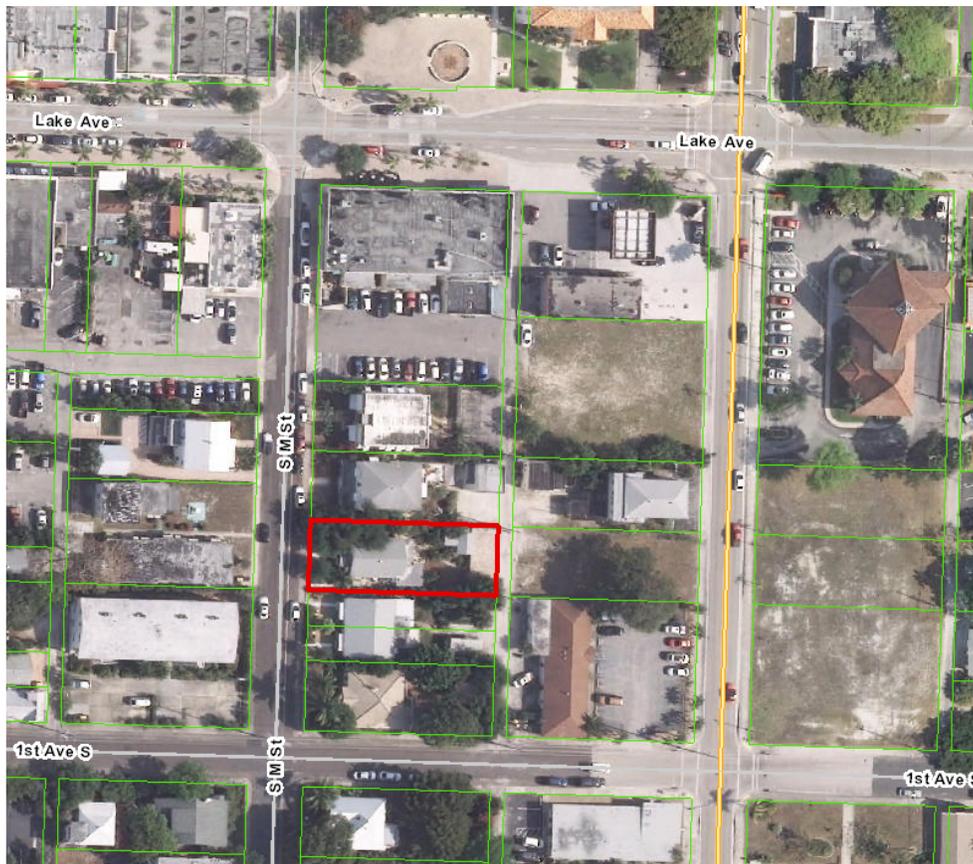
POTENTIAL MOTION:

I MOVE TO APPROVE/DENY HRPB #16-00100034: Consideration of a Certificate of Appropriateness (COA) for exterior alterations for the single-family structure located at **22 South M Street**, with the conditions recommended by Staff.

ATTACHMENTS:

1. Decision Criteria
2. Photographs
 - a. Application Photographs
3. Justification Statement
4. Architectural Drawings
5. Proposed Window and Door Information

LOCATION MAP



MEMORANDUM

DATE: March 2, 2016

TO: Chair and Members of the Historic Resources Preservation Board

FROM: Aimee N. Sunny, Preservation Planning Coordinator
Department of Community Sustainability

SUBJECT: HRPB Project Number 16-00100034: Consideration of a Certificate of Appropriateness (COA) for exterior alterations for the single-family residence located at **22 South M Street**; PCN# 38-43-44-21-15-025-0030. The subject property was constructed c.1925 and is a contributing resource within the Old Town Local Historic District.

HRPB Meeting Date: March 9, 2016

Per Section 23.5-4k(1) of the historic preservation ordinance, the Board shall use the following criteria in making a determination:

A. What is the effect of the proposed work on the landmark or the property upon which such work is to be done?

Response: It is the opinion of Staff that the alterations proposed on the north elevation would have an adverse effect on the historic appearance of the building, and is not compatible with the frame vernacular architecture.

B. What is the relationship between such work and other structures on the landmark site or other property in the historic district?

Response: The proposed work will have no direct physical effect on any surrounding properties within the surrounding Old Town Local Historic District, however it will have an indirect visual effect on the district.

C. To what extent will the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property be affected?

Response: The Applicant is proposing work that is not compatible with the architectural design and detailing of the structure by removing the paired windows on the north elevation and proposing larger fixed windows that substantially alter the appearance of the structure.

D. Would denial of a certificate of appropriateness deprive the property owner of reasonable beneficial use of his property?

Response: No, the denial of this COA as submitted does not prevent the Applicant from potentially proposing other alterations to the structure, nor would it make the building uninhabitable.

E. Are the applicant's plans technically feasible and capable of being carried out within a reasonable time?

Response: Yes.

F. Do the plans satisfy the applicable portions of the general criteria contained in the United States Secretary of the Interior's Standards for Rehabilitation then in effect or as they may be revised from time to time? The current version of the Secretary's Guidelines provides as follows:

(1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Response: No change to the use of the property is proposed at this time, however the Applicant does hope to open a yoga and holistic wellness center in the future.

(2) This historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Response: The Applicant is proposing to remove the distinctive paired windows on the north elevation, and one of the balanced single windows on the south elevation, which are character defining features of the property.

(3) Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

Response: Not applicable to this project.

(4) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Response: Not applicable to this project.

(5) Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

Response: The location, size, and configuration of the window openings are a distinctive feature of early frame vernacular architecture in Lake Worth.

(6) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities.

Response: Staff supports replacing the existing windows, as they are not original to the structure or appropriate for the frame vernacular architectural style. The new windows, however, should all conform to the composition, configuration, and design of the original windows.

Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or because the different architectural elements from other buildings or structures happen to be available for relocation.

Response: The proposed replacement windows are based on the frame vernacular style of architecture in Lake Worth and the information found in the City's property files.

(7) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

Response: Not applicable to this project.

(8) Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

Response: Not applicable to this project.

(9) New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.

Response: The proposed alterations on the north elevation remove a configuration that is distinctive to this structure and the style of architecture.

(10) New additions and adjacent or related new construction shall be undertaken in such manner that, if removed in the future, the essential form and integrity of the historic building and its environment would be unimpaired.

Response: Not applicable to this project.

G. What are the effects of the requested change on those elements or features of the structure which served as the basis for its designation and will the requested changes cause the least possible adverse effect on those elements or features?

Response: It is the opinion of Staff that the historic character of the property would be adversely affected by the proposed project as submitted by the Applicant, as outlined above. The requested exterior alterations do not represent the least possible adverse effect on the property. There are alternate options for the north elevation, including 6/1 windows installed in the existing opening, or double French doors installed in the existing opening.

Section 23.5-4k(2). Additional guidelines for alterations.

In approving or denying applications for certificates of appropriateness for alterations, the HRPB shall also consider the following additional guidelines:

A. Is every reasonable effort being made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or to use the property for its originally intended purpose?

Response: No change to the use of the property is proposed at the time.

B. Are the distinguishing original qualities or character of a building, structure or site and its environment being destroyed? The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible.

Response: The distinctive configuration of the windows on the north elevation is being destroyed.

C. When a certificate of appropriateness is requested to replace windows or doors, the HRPB shall permit the property owner's original design when the HRPB's alternative design would result in an increase in cost of thirty (30) percent above the owner's original cost. The owner shall be required to demonstrate to the HRPB that:

(1) The work to be performed will conform to the original window openings of the structure; and

Response: The applicant meets this criterion in some but not all locations, as outlined above.

(2) That the replacement windows or doors with less expensive materials will achieve a savings in excess of thirty (30) percent over historically compatible materials otherwise required by this code.

Response: Staff must defer to the applicant.

Front “facing west”



West
Elevation



West
Elevation



W

#1

West Elevation 33X54
Window, same size

#1

W

Replace window same size
33"x54"

series fwi 1000 impact single hung
with light on top



#2

Elevation
West
Replace
door with
same
size 32"
Glass
impact
with
15 lights



#3

West Elevation
Replace window same size
33"x54"



West

#3

South Elevation
Replace window with same size 33"x54"

#4





#4 Est
Replace window
same size
33"x54"

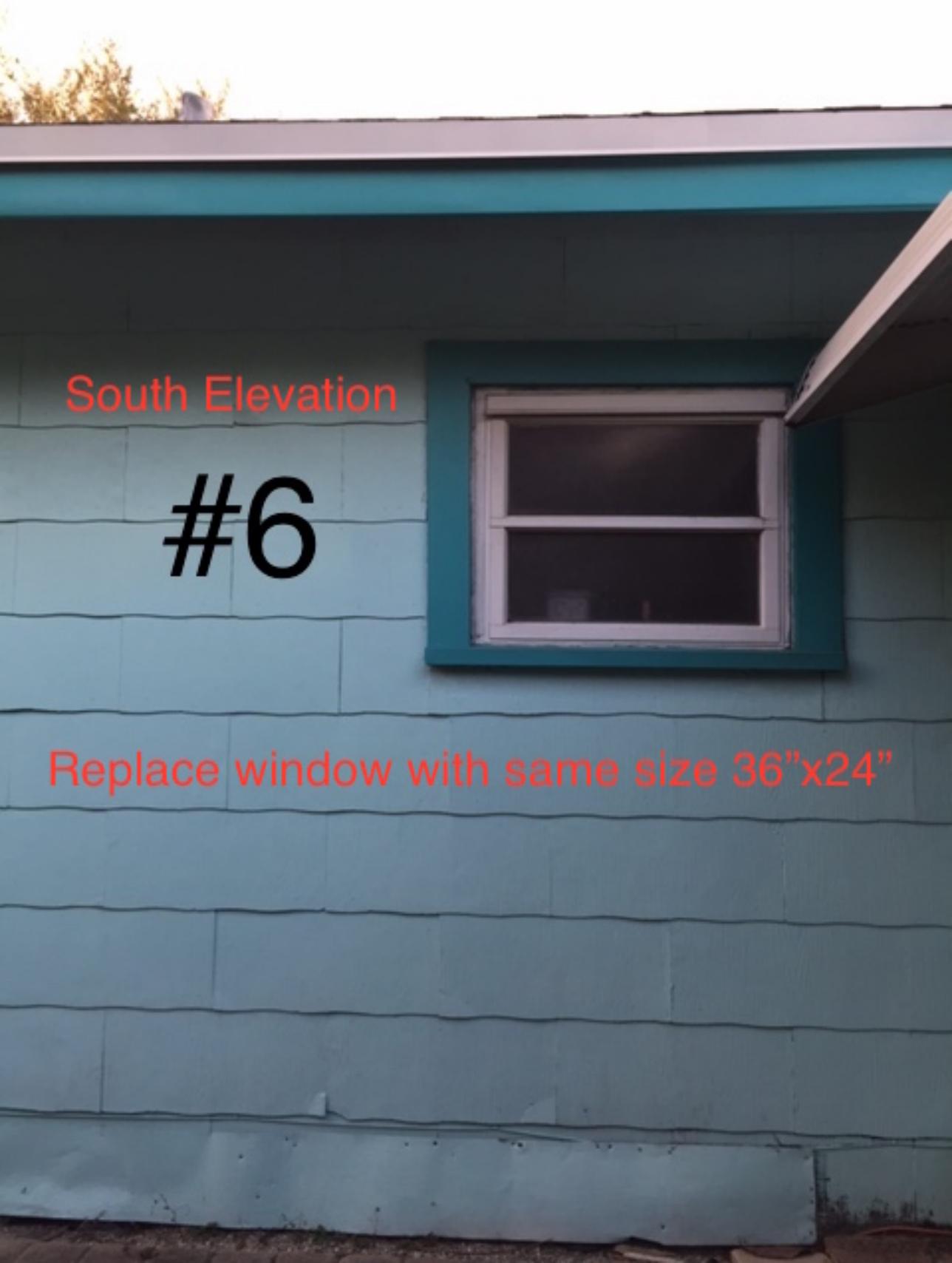
#5





South Elevation
Replace window with
a 32" door
Door glass impact
with 15 lights

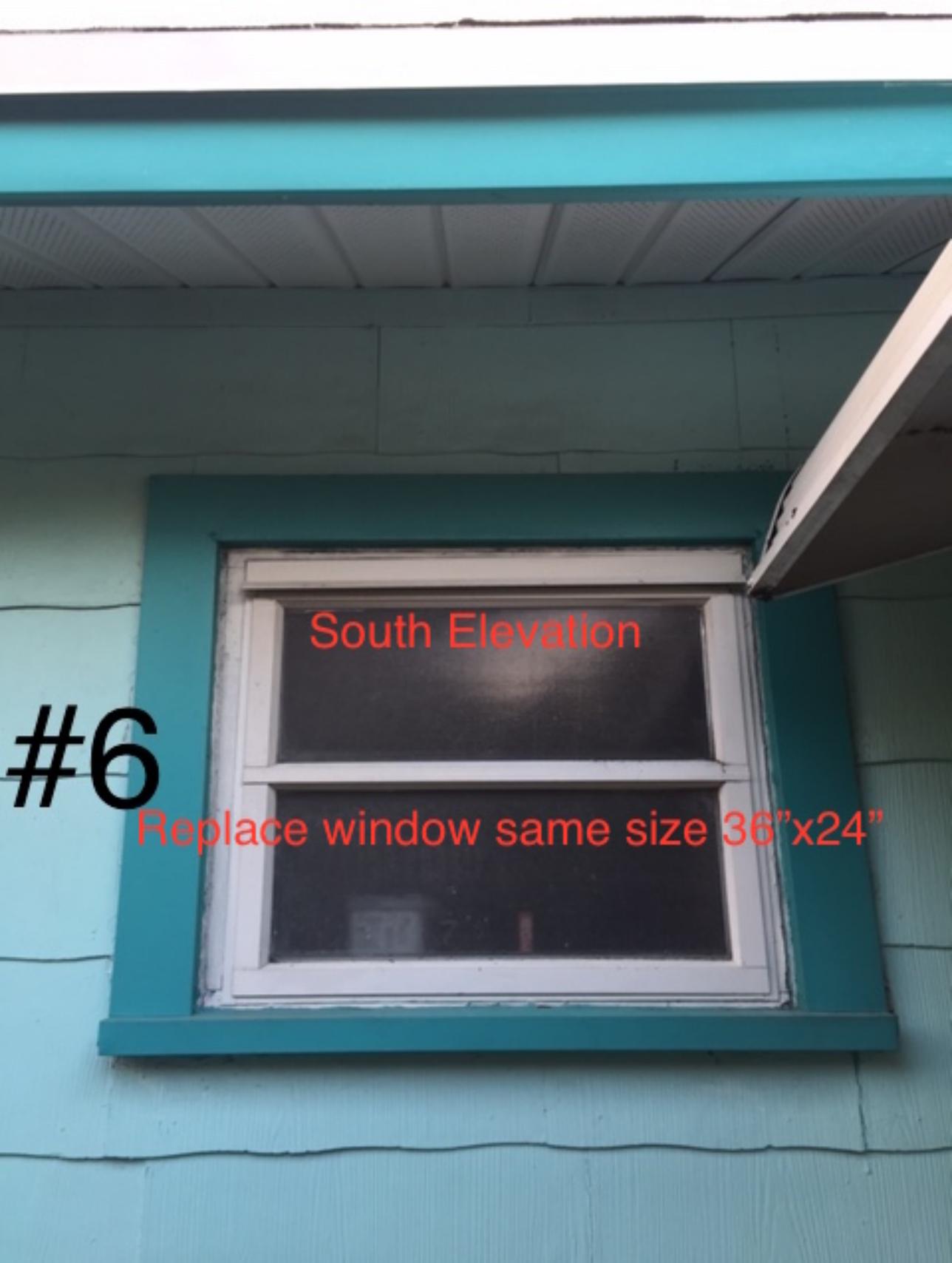
#5



South Elevation

#6

Replace window with same size 36"x24"



South Elevation

#6

Replace window same size 36"x24"

Replace this door with the same size 36"
Glass impact with 15 lights

Door locate at the south side of home but
facing west

West
Elevation

#7



Est

#8

Replace window same size 37"x50"

EST Elevation

8

Window

Replace same size

37"x50"



Est Elevation

Porch

#9

#10

#11

#12

#13

#14

#9 Replace window for a 36" door

#10,11,12,13 Replace window with window 33"x74"

#14 will be part of the windows.

10" wall at both ends

Elevation East



North Elevation



North





north

Add an opening in the center
Bring the window lower
Using the 3 glass with 15 lights

#15, #16

North





#15, #16

North

#17, #18

North



#17, #18

North Elevation

Text

JUSTIFICATION STATEMENT

Dear Board

We would like to change out windows and doors of our historic home with windows and doors that best fit Lake Worth historic district.

Materials from Eastern Architecture System. Metal frame, wind impact. Style back to the original look.

Replacing all windows and doors in the existing opening and size.

With the exception of the north facing side. We would like to add an opening in the center of the window opening between # 16 & # 17, with 3 60" x 70" fixed glass trimmed with same style as the new proposed windows and doors, with 15 lights each section, window sill 10 inch up from interior floor.

I am a health educator and the author of a book that teaches people how to reconnect with nature. The book discusses the body, mind and emotions. I also made a DVD on how to prepare healthy food. I am planning to use this property as a holistic center in the future.

The main room is where we will conduct meditation, yoga classes and workshops. It is important to connect to the outdoors during these activities, and the north window is the heart of all we are doing. We want our guests to have a view of the peaceful garden and the window will allow more light into the room.

We would also like to replace windows on east side # 9 - # 14 with windows style as the new proposed windows form, Eastern Architecture System. Metal frame, wind impact.! Changing size from 33" x 54" to 33" x 70" creating an emphasis to the porch. We are grateful for your time and consideration.

David and Gissela Torrella

22 South M Street Lake Worth !!

David and Gissela Torrella home!!

22 South M Street Lake Worth Fl 33460!!

Gissela: 561-714-3371!!

David: 561 951 1727!!

Lowe's: Lowe's sales specialist Cris Meyer: 561-578-2499! Cell!

We would like to change out windows and doors of our historic home with windows and doors that best fit lake worth historic district.!

Material: Metal frame, hurricane proof, from Lowe's.

1. Replace with the same size, same opening:

*• Opening #1,#3,#4,#6,#8 Replace 5 windows with grids. (with existing opening)!

*• Opening #2,#7 Replacing 2 doors, glass impact "with 15 lights" on the same existing opening!

2. Different Size:

*Opening #5 replace a window with a door on the "South side". This will allow asses to the patio.

*Opening #9,#10,#11,#12,#13,#14 Porch. East Elevation

This was originally a porch. We would like to, bring more natural light.

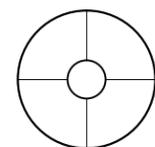
Working with engineer for drawing.

Opening #9: Replace a 33"x54" window with a 36" glass door, with 15 lights"

Opening #10, #11, #12, #13, #14: Replace windows for 4 windows 33" x 70"

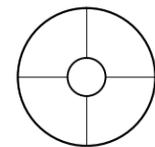
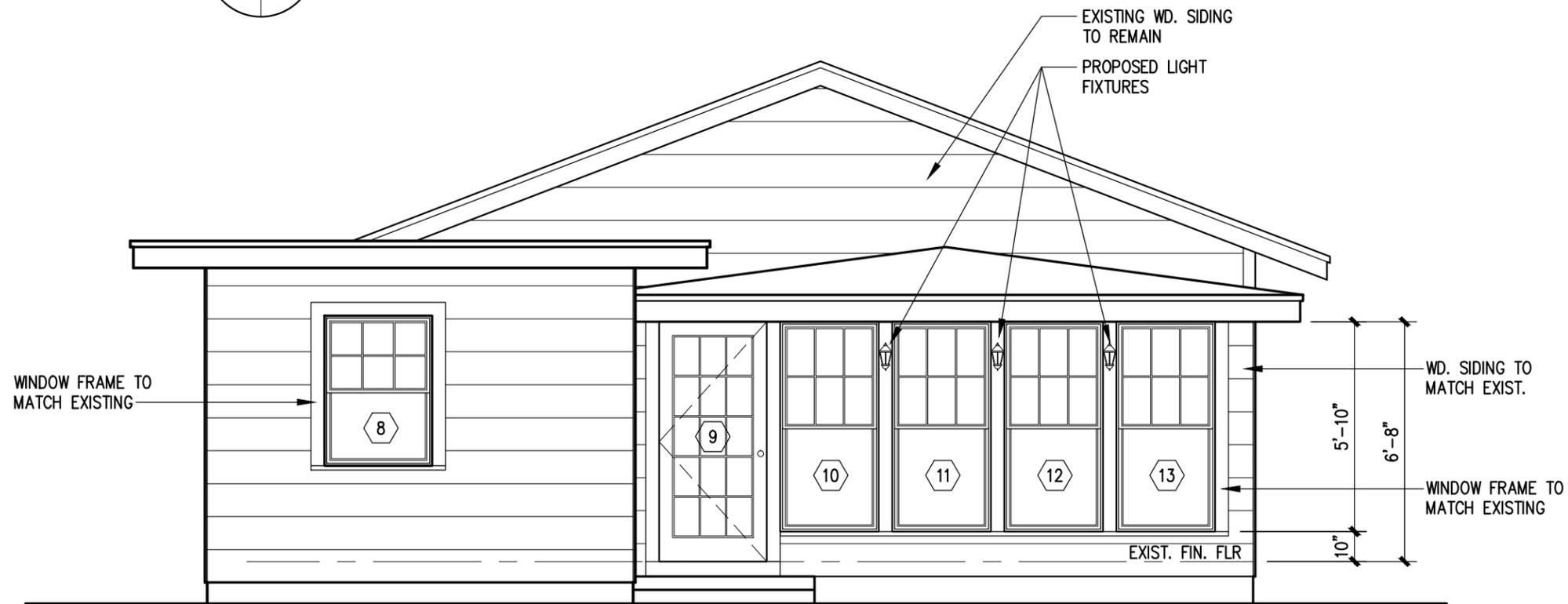
*Opening #15, #16,#17,#18.North. Elevation. Living Room!

Replace 4 windows 33"x 54" with fix 3 glass with lights, size 60" x 70"



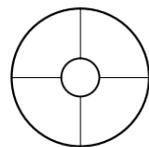
East Elevation (Existing)

SCALE: 1/4" = 1'-0"



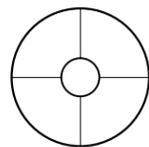
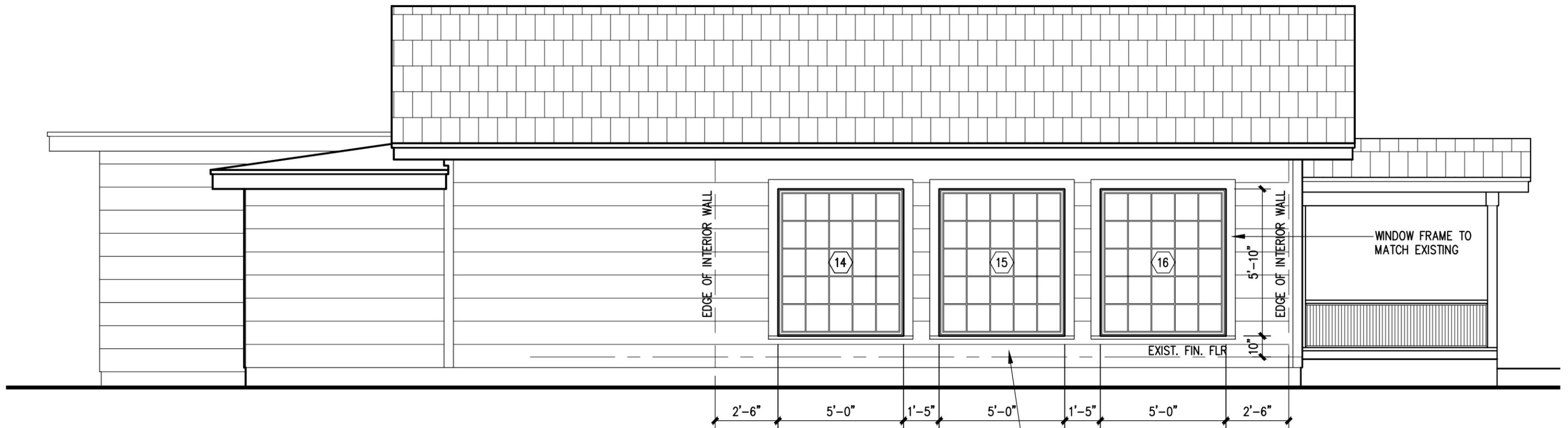
East Elevation (Proposed)

SCALE: 1/4" = 1'-0"



North Elevation (Existing)

SCALE: 1/4" = 1'-0"



North Elevation (Proposed)

SCALE: 1/4" = 1'-0"

2'-6" 5'-0" 1'-5" 5'-0" 1'-5" 5'-0" 2'-6"

WD. SIDING TO MATCH EXIST.

WINDOW FRAME TO MATCH EXISTING

EXIST. FIN. FLR

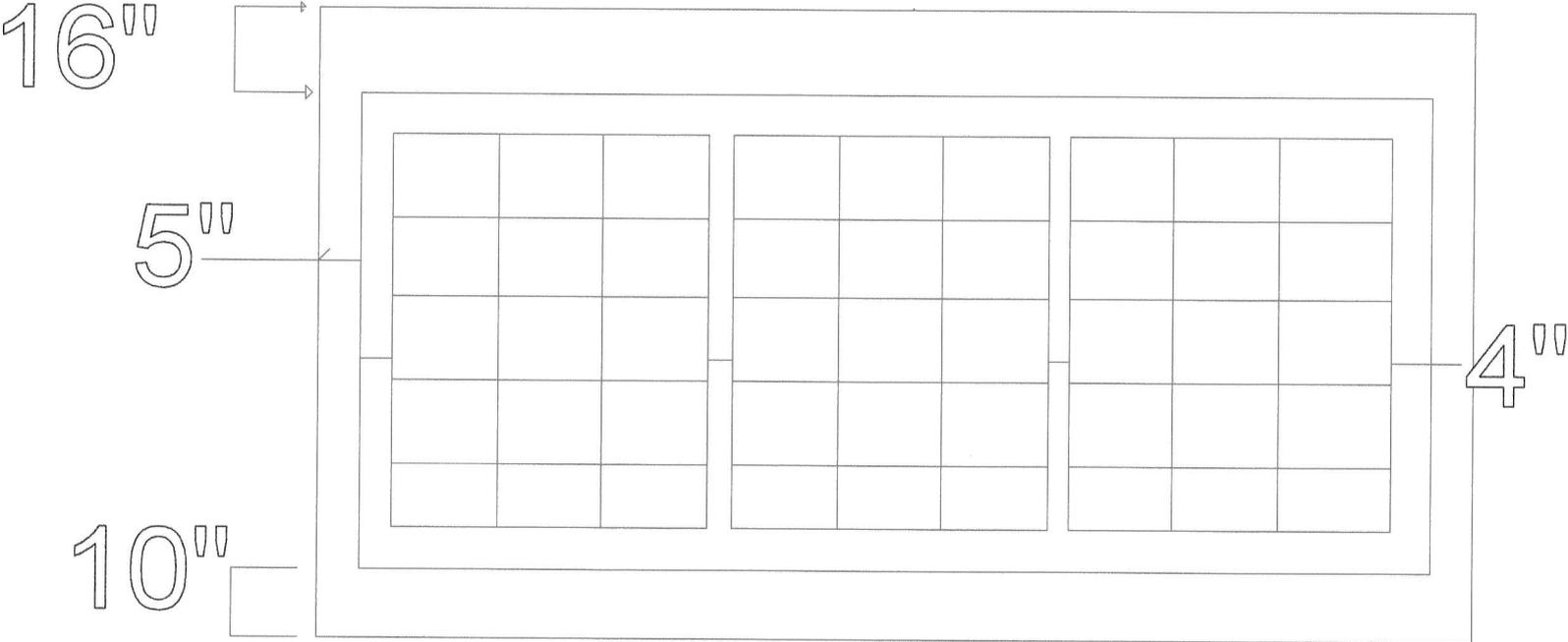
EDGE OF INTERIOR WALL

EDGE OF INTERIOR WALL

5'-10"

10"

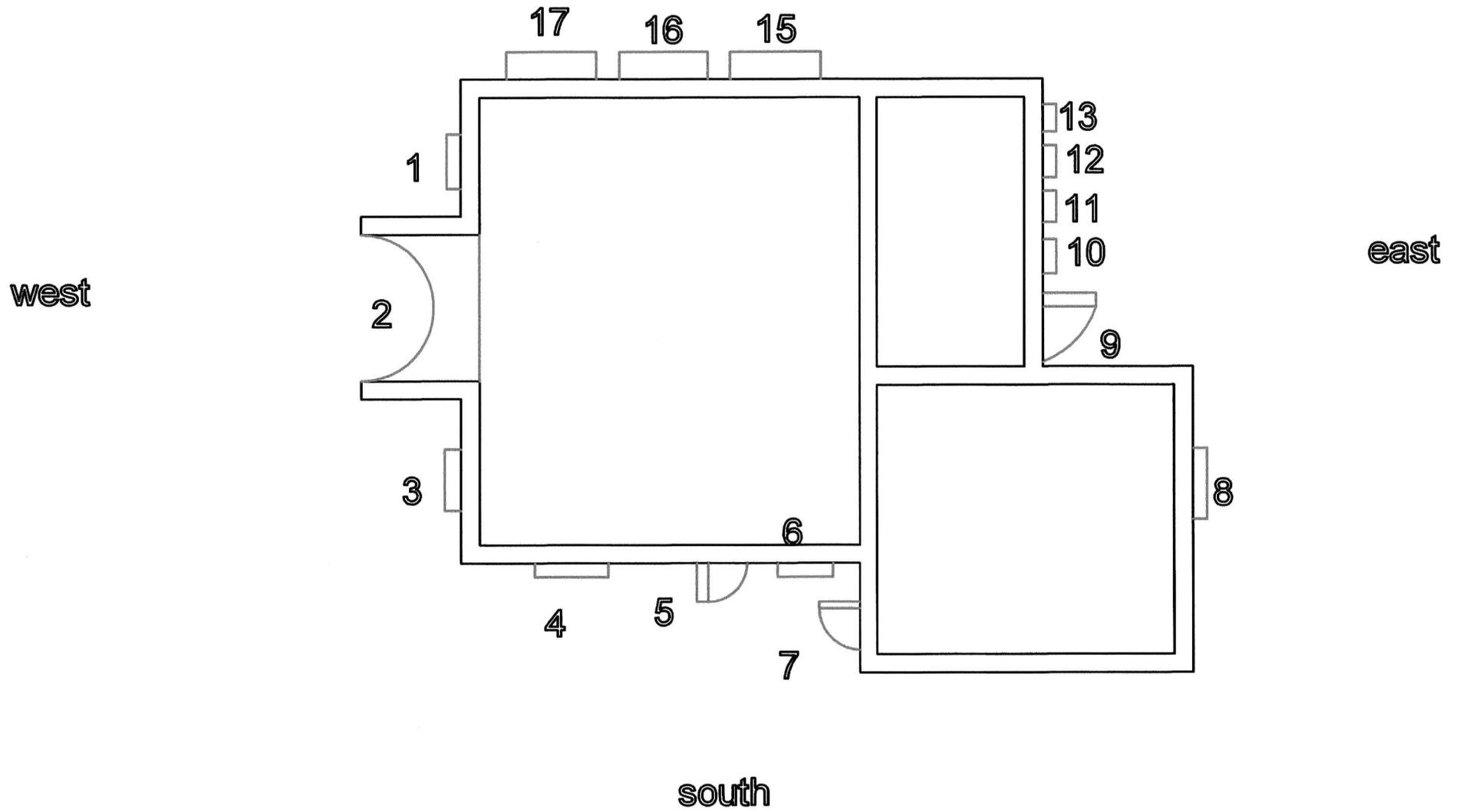
detail north windows



glass whith lights 60*75 impact

modification plan

north

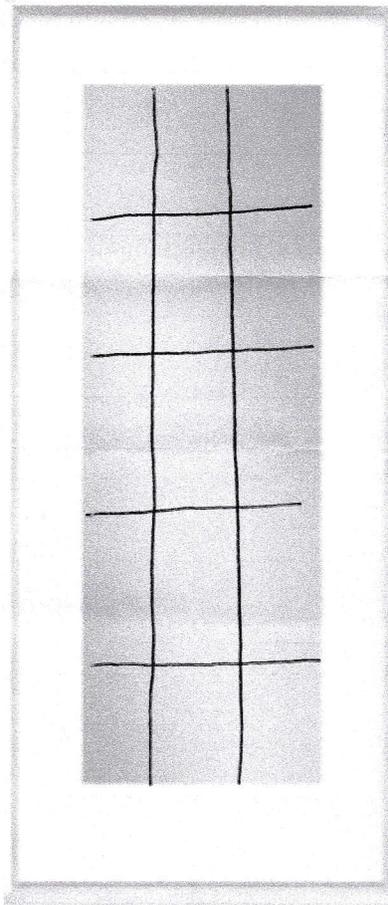


OPNG #	TYPE	SIZE	NEW SIZE	NOA #	APVD	ZONE	Location
1	Window	33" x 54"	Same	14604.6	+ - 60	5	Living Room
2	Door	32"	Same	10972.1	+ - 60	5	Living Room
3	Window	33" x 54"	Same	14604.6	+ - 60	5	Living Room
4	Window	33" x 54"	Same	14604.6	+ - 60	5	Living Room
5	Window change to a Door	33" x 54"	32" door	10972.1	+ - 60	5	Living Room
6	Window	36" x 24"	Same	14604.6	+ - 60	5	Bathroom
7	Door	36"	Same	10972.1	+ - 60	5	Bedroom
8	Window	37" x 50"	Same	14604.6	+ - 60	5	Bedroom
9	Window change to a door	33" x 54"	36"	10972.1	+ - 60	5	Porch
10	Window	33" x 54"	33" x74"	14604.6	+ - 60	5	Porch
11	Window	33" x 54"	33" x74"	14604.6	+ - 60	5	Porch
12	Door change to a Window	33" x 54"	33" x74"	14604.6	+ - 60	5	Porch
13	Window	33" x 54"	33" x74"	14604.6	+ - 60	5	Porch
14	Window	33" x 54"	remove space is part of the installation of the 4 windows in the porch	14604.6	+ - 60	5	Porch
15	Window	33" x 54"	Fix glass with 15 lights 60" X 75"		+ - 60	5	Living room
16	Window	33" x 54"	Fix glass with 15 lights 60" X 75"	14604.6	+ - 60	5	Living room

OPNG #	TYPE	SIZE	NEW SIZE	NOA #	APVD	ZONE	Location
17	Window	33" x 54"	Fix glass with 15 lights 60" X 75"	14604.6	+ - 60	5	Living room
18	Window	33" x 54"	remove space is part of the installation of the 3 windows in the living room	14604.6	+ - 60	5	Living room

Doors

All the doors will be replaced with this door, from Lowe's, glass impact. "15 Lights"

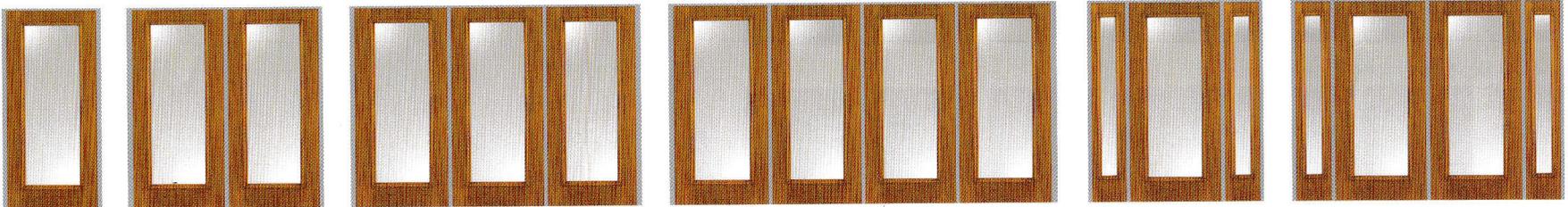


French Doors



- 1 Multi-Point Locking System (Recommended)
- 2 Bottom Sweep
- 3 Sill
- 4 Hinges
- 5 Corner Seal Pads (Inswing Only)
- 6 Rain Deflector (Inswing Only)
- 7 Sill Pan (Recommended)
- 8 Astragal
- 9 Frame Components

Available Configurations



Door

THERMA TRU®

THERMA TRU DOORS
118 INDUSTRIAL DR., EDGERTON, OH 43517

"SMOOTH STAR", "FIBER CLASSIC", "CLASSIC CRAFT" & "CLASSIC CRAFT RUSTIC"

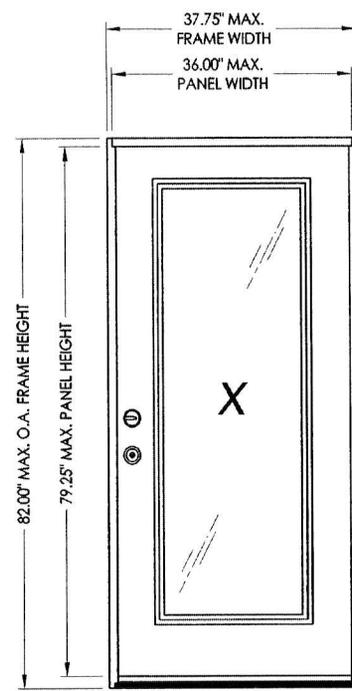
FIBERGLASS GLAZED DOOR INSWING / OUTSWING "IMPACT"

GENERAL NOTES

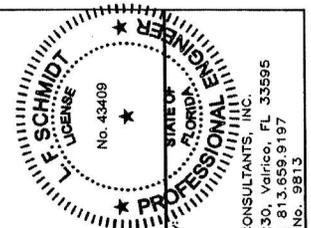
- This product has been evaluated and is in compliance with the 5th Edition (2014) Florida Building Code (FBC) structural requirements including the "High Velocity Hurricane Zone" (HVHZ).
- Product anchors shall be as listed and spaced as shown on details. Anchor embedment to base material shall be beyond wall dressing or stucco.
- When used in the "HVHZ" this product complies with Section 1626 of the Florida Building Code and does not require an impact resistant covering.
- When used in areas outside of the "HVHZ" requiring wind borne debris protection this product complies with Section 1609.1.2 of the FBC and does not require an impact resistant covering. This product meets missile level "D" and includes Wind Zone 4 as defined in ASTM E1996 and Section 1609.1.2.2 of the FBC.
- For 2x stud framing construction, anchoring of these units shall be the same as that shown for 2x buck masonry construction.
- Site conditions that deviate from the details of this drawing require further engineering analysis by a licensed engineer or registered architect.
- Outswing configurations using coastal sill item #31 under active doors meet water infiltration requirements for "HVHZ".
- Inswing configurations and outswing configurations using sill items #18, #14, #15, #16, #34 & #37 under the door do not meet the water infiltration requirements for the "HVHZ" and shall be installed only in non-habitable areas or at habitable locations protected by an overhang or canopy such that the angle between the edge of canopy or overhang to sill is less than 45 degrees.

TABLE OF CONTENTS

SHEET #	DESCRIPTION	SHEET #	DESCRIPTION
1	Typical elevations, design pressures & general notes	7	Vertical cross sections
2	Door panel details & glazing details (Smooth Star)	8	Buck and frame anchoring 2X buck masonry construction
3	Door panel details (Fiber Classic)	9	Frame anchoring 1X buck masonry construction
4	Door panel details (Classic Craft)	10	Components
5	Door panel details (Classic Craft Rustic)	11	Bill of materials
6	Horizontal cross sections		



SWING	OVERALL FRAME DIMENSION	DESIGN PRESSURE (PSF)	
		POSITIVE	NEGATIVE
INSWING	37.75" x 82.00"	+55.0	-55.0
OUTSWING	37.75" x 80.62"	+55.0	-55.0



19-06
2-2-15
Documents Prepared By:
Lyndon F. Schmidt
P.E. No. 43409

R.W.
BUILDING CONSULTANTS, INC.
P.O. Box 230, Vairco, FL 33595
Phone No.: 813.659.9197
FBPE C.A. NO. 9813

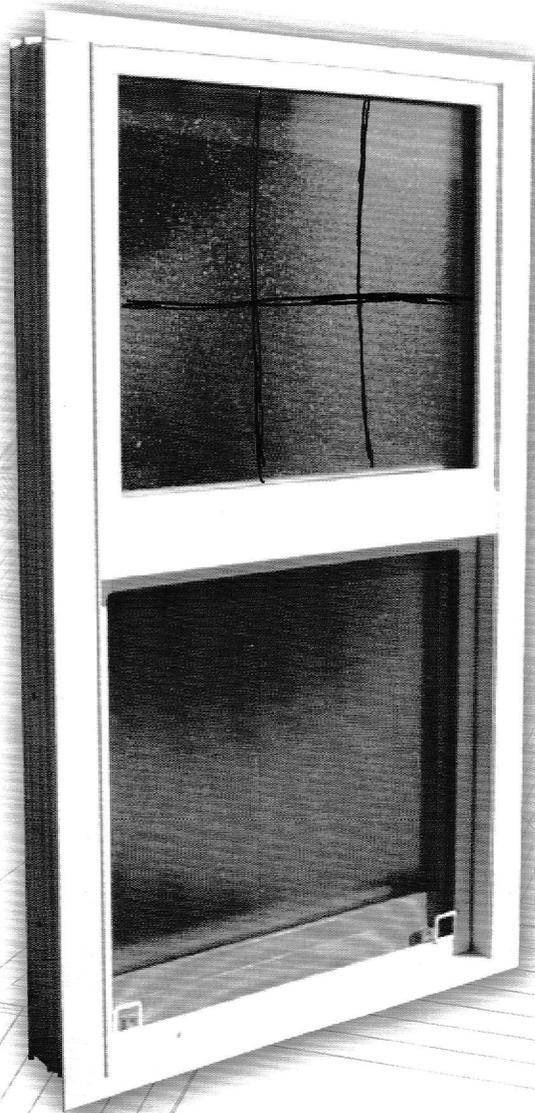
PRODUCT: THERMA TRU FIBERGLASS GLAZED DOOR
PART OR ASSEMBLY: TYPICAL ELEVATION, DESIGN PRESSURES & GENERAL NOTES

NO.	DATE	BY	REVISIONS
3	1/30/15	JK	UPDATE TO 5TH ED. (2014) FBC
2	2/29/12	JK	UPDATE TO 2010 FBC
1	3/29/11	JK	REVISE CLASSIC CRAFT DOOR

DATE: 6/25/08
SCALE: N.T.S.
DWG. BY: JK
CHK. BY: LFS
DRAWING NO.: FL-10975.1
SHEET 1 OF 11

FWI 1000

IMPACT WINDOW SINGLE HUNG WINDOW



Features & Benefits:

- **Frame Depth** of 3 1/4" provides superior strength and durability.
- **Double Veined Felts** used to maximize prevention of air and water penetration.
- **Uniform Construction** for all applications. Ensures windows with different DPs maintain the same external look throughout the building.
- **Stainless Steel Components** available for longer life and protection against corrosion.
- **Preloaded Spring Balancers** for ease of operation, and longer life.
- **Insulated glass** available for greater energy efficiency.

Specifications:

Maximum Size	Glazing	Nominal Glass	Design Pressure
53 1/8" x 96"	Impact	5/16" annealed	+/-60
53 1/8" x 72"	Impact	7/16" Heat Strength	+60 / -80
53" x 77"	Impact	7/16" Heat Strength	+80 / -100
53 1/2" x 77"*	Impact	1/2" Heat Strength	+120 / -150
48" x 72"	Insulated Impact	3/4" IGU - 5/16" HS	+/-75
53 1/8" x 78"	Insulated Impact	7/8" IGU - 7/16" HS	+80 / -100
Muntin			Flat, Profile
Grid Options			Colonial, Prairie, Perimeter
Frame Depth			3 1/4"
Frame Colors			White, Bronze
HVHZ Approval			Yes
Florida Product Approval			FL 14604

* Indicates High Rise Sill

The *right choice* to maximize protection from water and wind-borne debris, at a great value.



ERTHA™
IMPACT WINDOWS & DOORS
by *Eastern Metal Supply*

Window

NOTICE OF PRODUCT CERTIFICATION



CERTIFICATION NO: NI009020.01-R2
 DATE: 04/13/2011
 CERTIFICATION PROGRAM: Structural
 COMPANY: Eastern
 CODE: 1783-1
 REVISION DATE: 08/05/2014

To verify that the "Notice of Product Certification" is valid, please visit www.NAMICertification.com to assure that the product is active and currently listed. This certification represents product conformity to the applicable specification and that certification criteria has been satisfied. A NAMI approved certification label must be applied to the product to claim certification status. Please review and advise NAMI if any corrections are required to this document.

COMPANY NAME AND ADDRESS	PRODUCT DESCRIPTION
Eastern Architectural Systems 10030 Bavaria Road Ft. Myers, FL 33913	Series "FWI 1000" Aluminum Impact Rated Single Hung Window Configuration: O/X Glazing: Laminate-3/16" Heat Strengthened Glass/0.100" HP Solutia/ 3/16" Heat Strengthened Glass Frame: W-1359mm(53.5") H-1943mm(76.5") Sash: W-1283mm(50.5") H-972mm(38.25")

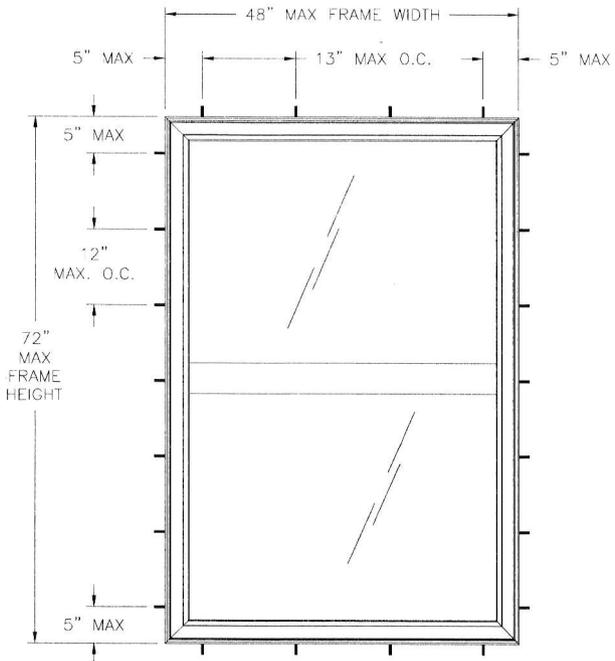
SPECIFICATION	PRODUCT RATING
TAS 201/202/203-94	Design Pressure: 5746 Pa (120 psf) Negative Design Pressure: 7182 Pa (150 psf) Large Missile Impact Rated

Product Tested By: National Certified Testing Laboratories
 Report No: NCTL-210-3753-1
 Expiration Date: April 30, 2020

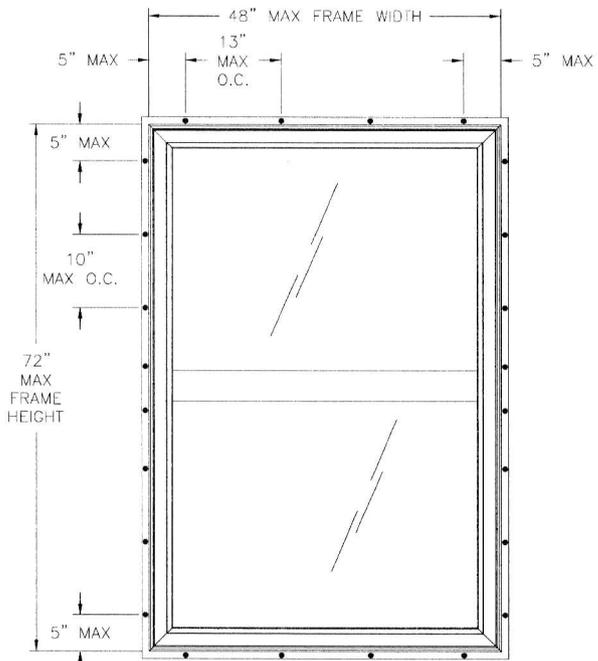
Administrator's Signature: _____ 

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 Fax: (804) 684-5122

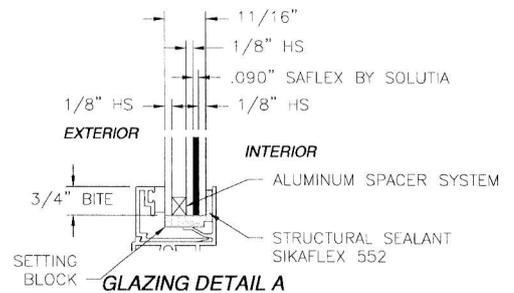
REVISIONS			
REV	DESCRIPTION	DATE	APPROVED



SERIES FWI 1000 IMPACT SINGLE HUNG WINDOW
EXTERIOR VIEW FRAME INSTALLATION



SERIES FWI 1000 IMPACT SINGLE HUNG WINDOW
EXTERIOR VIEW FIN INSTALLATION



DESIGN PRESSURE RATING	IMPACT RATING
±75.0PSF	LARGE AND SMALL MISSILE IMPACT

MISSILE LEVEL D, WIND ZONE 4, AND HVHZ WITH GLAZING A

NOTES:

1. SASH SIZE: 47" X 38".
2. D.L.O.: 42 3/4" X 31 5/8".
3. HARDWARE:
 - a. (1) METALLIC CAM LOCK LOCATED MIDSPAN OF TOP RAIL AND ANCHORED TO FIXED MEETING RAIL.
 - b. (2) SPIRAL BALANCE LOCATED ON EACH JAMB.
 - c. (2) BALANCE SHOES LOCATED ON EACH SASH BOTTOM RAIL END.
4. NO REINFORCEMENTS.

		EASTERN ARCHITECTURAL SYSTEMS A DIVISION OF EASTERN METAL SUPPLY 10030 BAVARIA ROAD FORT MYERS, FLORIDA 33913 888-432-2264
SERIES FWI 1000 IMPACT SINGLE HUNG WINDOW ELEVATIONS		
DRAWN: V.L.	DWG NO. 08-02476	REV -
SCALE NTS	DATE 08/20/14	SHEET 2 OF 12

